

**CITY OF MOAB
PLANNING COMMISSION
PUBLIC HEARING**

The City of Moab Planning Commission will hold a Public Hearing on Thursday, September 11, 2014 at approximately 7:00 p.m. in the Council Chambers of the Moab City Offices at 217 East Center Street, Moab, Utah.

The purpose of this Public Hearing is to solicit public input on a proposed Conditional Use Permit – Bed and Breakfast located at 100 Arches Drive in the R-2 Residential Zone.

The proposed Conditional Use Permit application is available for public review at the Moab City Planning Office located at 217 East Center Street and on the website at www.moabcity.org. Written public comment may be directed to the Planning Department at the listed address. To ensure that the Planning Commission has the opportunity to review written comments prior to the meeting, written comments will only be accepted until 5 pm the day prior to the public hearing.

In compliance with the Americans with Disabilities Act, individuals needing special accommodations during this meeting should notify the Planning Office at 217 East Center Street, Moab, Utah 84532; or phone (435) 259-5129 at least three (3) working days prior to the meeting.

/s/ Sommar Johnson
Zoning Administrator

Published in the Times Independent, August 28 and September 4, 2014.

August 11, 2014

Mayor Dave Sakrison,
Moab City Council Members
Moab City Planning Commission
Moab City Offices
Moab, UT 84532

RE: Proposed Bed and Breakfast for Jeramey and Mary McElhaney located at 100 Arches Dr. Moab

Honorable Mayor Sakrison, Honorable City Council Members, and members of the Moab City Planning Commission:

This letter will show that our proposed Bed and Breakfast will meet all conditions for approval.

One of the major problems we have in our fair city is ample parking. Our project will have off street parking for nearly twice as many vehicles as we will need for our Bed and Breakfast. This will insure that any trailer or secondary vehicle parking will also be able to be located off the street.

Increase in traffic will not be a factor. We will actually decrease the amount of traffic on Arches Drive and connecting roads. Mary currently operates a daycare in our current home located at 95 Arches Dr. State licensing regulations do not allow a daycare to be operated in the same home as any secondary business; so of necessity the daycare will be forced to close once the Bed and Breakfast is operating. Thereby greatly reducing local traffic from up to sixteen daily drop offs and pick ups to a maximum of five daily occupants in our Bed and Breakfast.

The home and Bed and Breakfast will be of significant size to actually increase the neighborhood property values. This is an economic benefit to all nearby property owners.

This will be the third home Jeramey has built in the Arches subdivision, all connected, and each home and drain pattern has been constructed to minimize the amount of drainage into either the street or onto connecting property. The likelihood of a damaging flood has been greatly diminished by both previous homes built by Jeramey, and this project would reduce that likelihood even further.

All construction will be in accordance to local building regulations including lighting to insure the neighborhood will still have the same feel.

Please let us know if you have any questions or comments.

Thank you,


Jeramey and Mary McElhaney

133.0'

Approximate
Gully
Location

Access Easement

11
01-MAR-0011
100 ARCHES DR
0.57 ACRE

New Fence

Sand or
Gravel

40.0'

Maybe
is reading on
Rocky Mt. River
line extension.

Gravel

S 7° 30' E

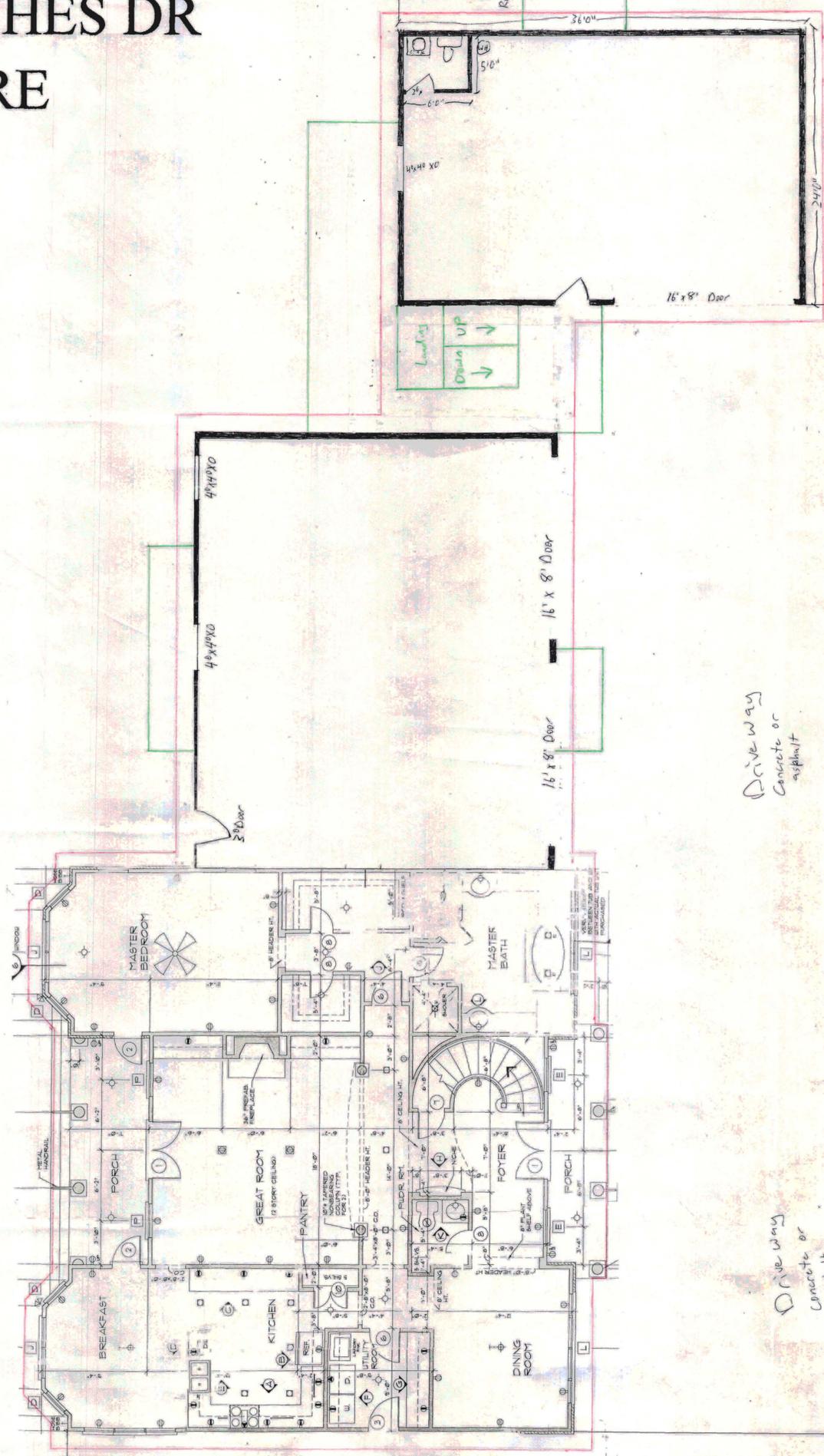
135.1'

Concrete curb at
property line

Hill side

New Fence

Roof Line
Balcony



Driveway
Concrete or
asphalt

Parking
5 spaces
9' x 20'

Driveway
Concrete or
asphalt

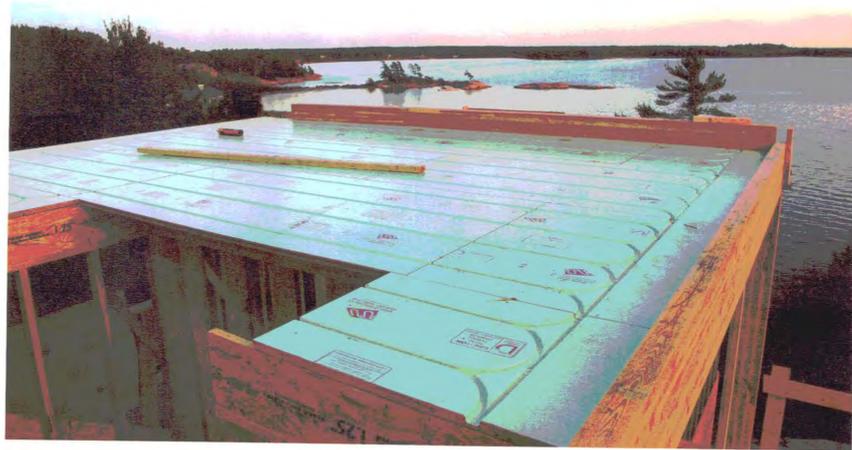
Gravel

EAST
129.4'

Existing Fence

CB=N26°30'22"E
C=47.68'
L=49.70'

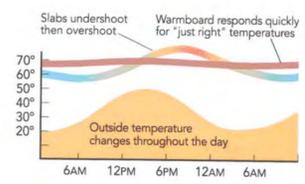
50.0'



877-338-5493
warmboard.com

Warmboard is a whole-home radiant floor heating solution that will make your new house feel like home.

Using the laws of physics Warmboard lowers the cost of heating your home while making you more comfortable than other radiant floor systems.



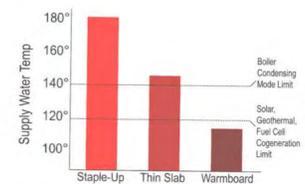
CONSTANT COMFORT
Warmboard is always just right...

Because of Warmboard's high conductivity and low mass we can ensure that you're never too hot, never too cold, always just right, always comfortable. Day and night, Warmboard quickly responds to the changing temperature conditions of your home.



NO LIMITATIONS
Warmboard works with any floor covering...

Because of Warmboard's low operating water temperatures you can choose any type of floor covering you want. Hardwood? No problem. Wool carpets? Bring it on. Tile or stone? Perfect.



LOWER OPERATING COST
Warmboard simply uses less energy...

Warmboard operates with some of the lowest water temperatures in the industry allowing perfect integration with geothermal or solar systems. However you choose to heat the water, it is always more economical to heat to a lower temperature.



HEALTH
Warmboard provides clean Indoor Air Quality...

The heat is radiated from the floor so there are no allergens or dust particles blowing around the room as there are with forced air systems. Improved indoor air quality can reduce allergies and creates a more peaceful, healthy home environment.



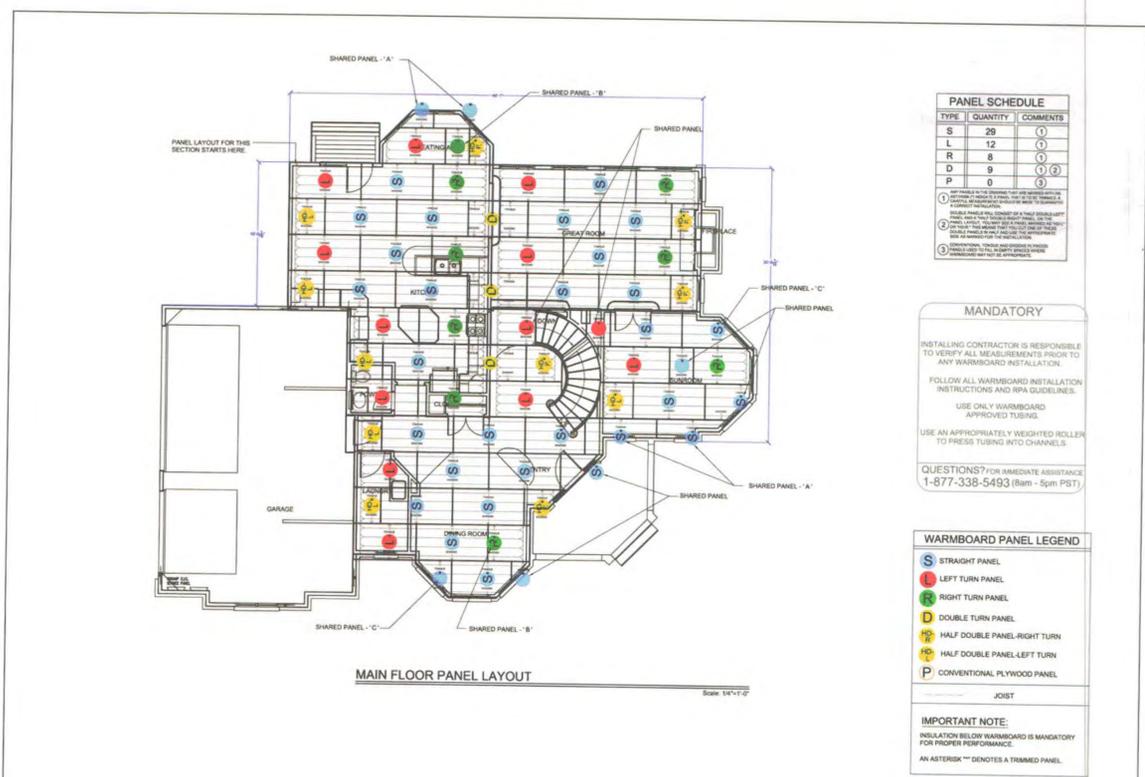
PEACE OF MIND
Warmboard is the regret-free choice...

Twenty million square feet and growing. Warmboard has satisfied over 10,000 customers in homes all over the world. See what our homeowners, architects and contractors have to say about the elegant solution that is Warmboard.



EASE OF CONSTRUCTION
Warmboard installs like regular subfloor...

As an APA-approved structural subfloor, Warmboard panels are the radiant heating system combined with the structural subfloor. Any tradesperson that can install regular subfloor can easily install Warmboard radiant subfloor.

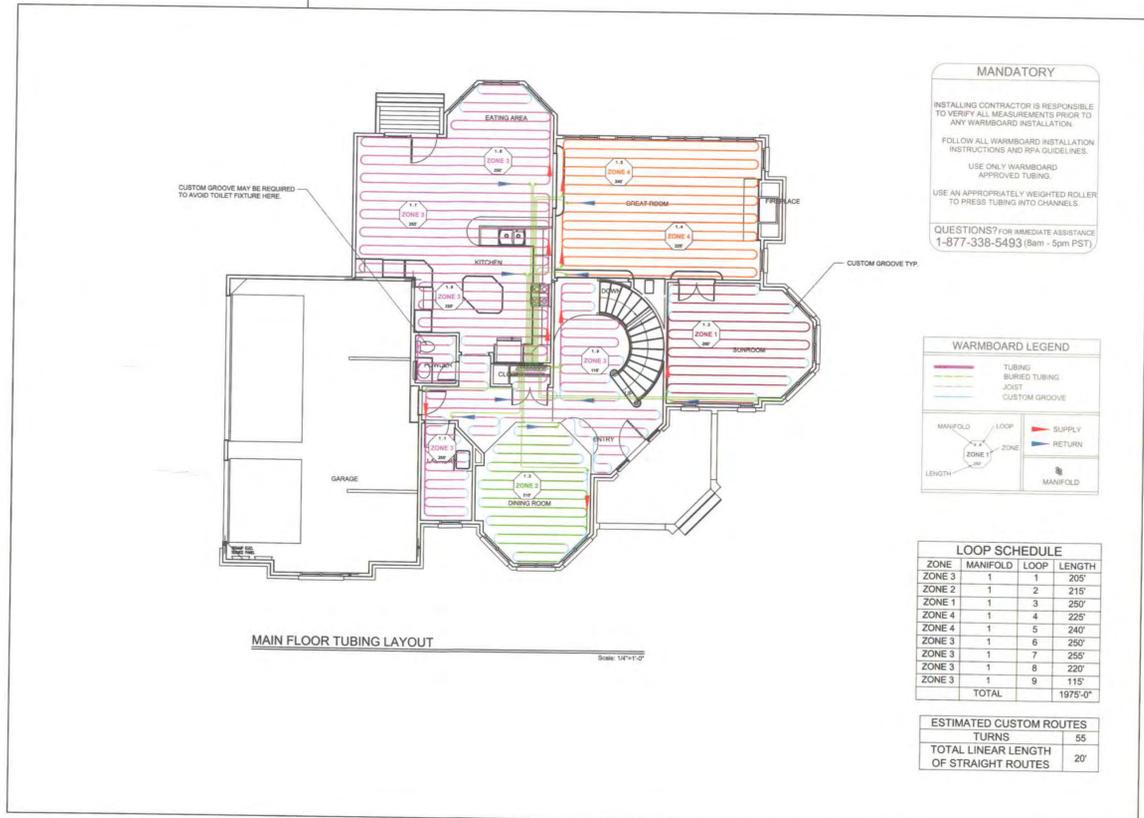


TYPE	QUANTITY	COMMENTS
S	29	(1)
L	12	(1)
R	8	(1)
D	9	(1) (2)
P	0	(1)

MANDATORY
INSTALLING CONTRACTOR IS RESPONSIBLE TO VERIFY ALL MEASUREMENTS PRIOR TO ANY WARMBOARD INSTALLATION.
FOLLOW ALL WARMBOARD INSTALLATION INSTRUCTIONS AND RPA GUIDELINES.
USE ONLY WARMBOARD APPROVED TUBING.
USE AN APPROPRIATELY WEIGHTED ROLLER TO PRESS TUBING INTO CHANNELS.
QUESTIONS? FOR IMMEDIATE ASSISTANCE 1-877-338-5493 (8am - 5pm PST)

WARMBOARD PANEL LEGEND
S STRAIGHT PANEL
L LEFT TURN PANEL
R RIGHT TURN PANEL
D DOUBLE TURN PANEL
LD HALF DOUBLE PANEL-RIGHT TURN
LD HALF DOUBLE PANEL-LEFT TURN
P CONVENTIONAL PLYWOOD PANEL
JOIST

IMPORTANT NOTE:
INSULATION BELOW WARMBOARD IS MANDATORY FOR PROPER PERFORMANCE.
AN ASTERISK * DENOTES A TRIMMED PANEL.



MANDATORY
INSTALLING CONTRACTOR IS RESPONSIBLE TO VERIFY ALL MEASUREMENTS PRIOR TO ANY WARMBOARD INSTALLATION.
FOLLOW ALL WARMBOARD INSTALLATION INSTRUCTIONS AND RPA GUIDELINES.
USE ONLY WARMBOARD APPROVED TUBING.
USE AN APPROPRIATELY WEIGHTED ROLLER TO PRESS TUBING INTO CHANNELS.
QUESTIONS? FOR IMMEDIATE ASSISTANCE 1-877-338-5493 (8am - 5pm PST)

WARMBOARD LEGEND			
—	TUBING	—	SUPPLY
—	BURIED TUBING	—	RETURN
—	JOIST	—	MANIFOLD
—	CUSTOM GROOVE		

ZONE	MANIFOLD	LOOP	LENGTH
ZONE 3	1	1	205'
ZONE 2	1	2	215'
ZONE 1	1	3	250'
ZONE 4	1	4	225'
ZONE 4	1	5	240'
ZONE 3	1	6	250'
ZONE 3	1	7	255'
ZONE 3	1	8	220'
ZONE 3	1	9	115'
TOTAL			1975'-0"

ESTIMATED CUSTOM ROUTES	
TURNS	55
TOTAL LINEAR LENGTH OF STRAIGHT ROUTES	20'

Warmboard's in-house design team provides full panel, tubing and manifold shop drawings, specifically for your project, which are included with the purchase of Warmboard.

Warmboard also offers, for a very reasonable fee, complete Heat Loss and Mechanical designs. Our engineered drawings will professionally specify and size all mechanical and electrical components needed for a complete Warmboard radiant heat system.

NEED FLOORING FOR A NEW HOME?

HARDWOOD FLOORS FOR LESS!

**LUMBER
LIQUIDATORS\$**

www.lumberliquidators.com

1-800-HARDWOOD

WHY SHOP WITH US:

- ✓ Mill-direct LOW pricing
- ✓ Flooring experts in every store nationwide
- ✓ No special orders needed
- ✓ Over 340 varieties in stock
- ✓ Up to 100 year warranty
- ✓ Installation available
- ✓ Financing available

BellaWOOD[®]
PREFINISHED HARDWOOD FLOORING

B
CERTIFIED
100
YEAR
TRANSFERABLE
WARRANTY



It's more than hardwood.
It's BellaWood.

**More Durable. Now Transferable.
Now 100 Years.**

We set the quality standard with a groundbreaking hardwood finish so tough it allowed us to offer a 50 year warranty. We were the first to do it then and we just raised the bar again.

Now BellaWood comes with a Certified 100 Year Transferable Warranty for peace of mind across a full century for you and homebuyers to come.

Are you a Builder, Contractor or Remodeler?

Our Commercial Wholesale Team is ready to help you, your contractors and your customers with ANY project. We provide product-specific expertise, spec sheets, samples and more! Call today!

HARDWOOD FLOORS FOR LESS!

**LUMBER
LIQUIDATORS\$**

www.lumberliquidators.com/commercial

**COMMERCIAL SALES
800-274-2360**

*Exclusive Commercial
Sales programs Available*



Color
COLOUR
Collection



VIRGINIA MILL WORKS CO.
HAND SCRAPPED AND DISTRESSED FLOORS



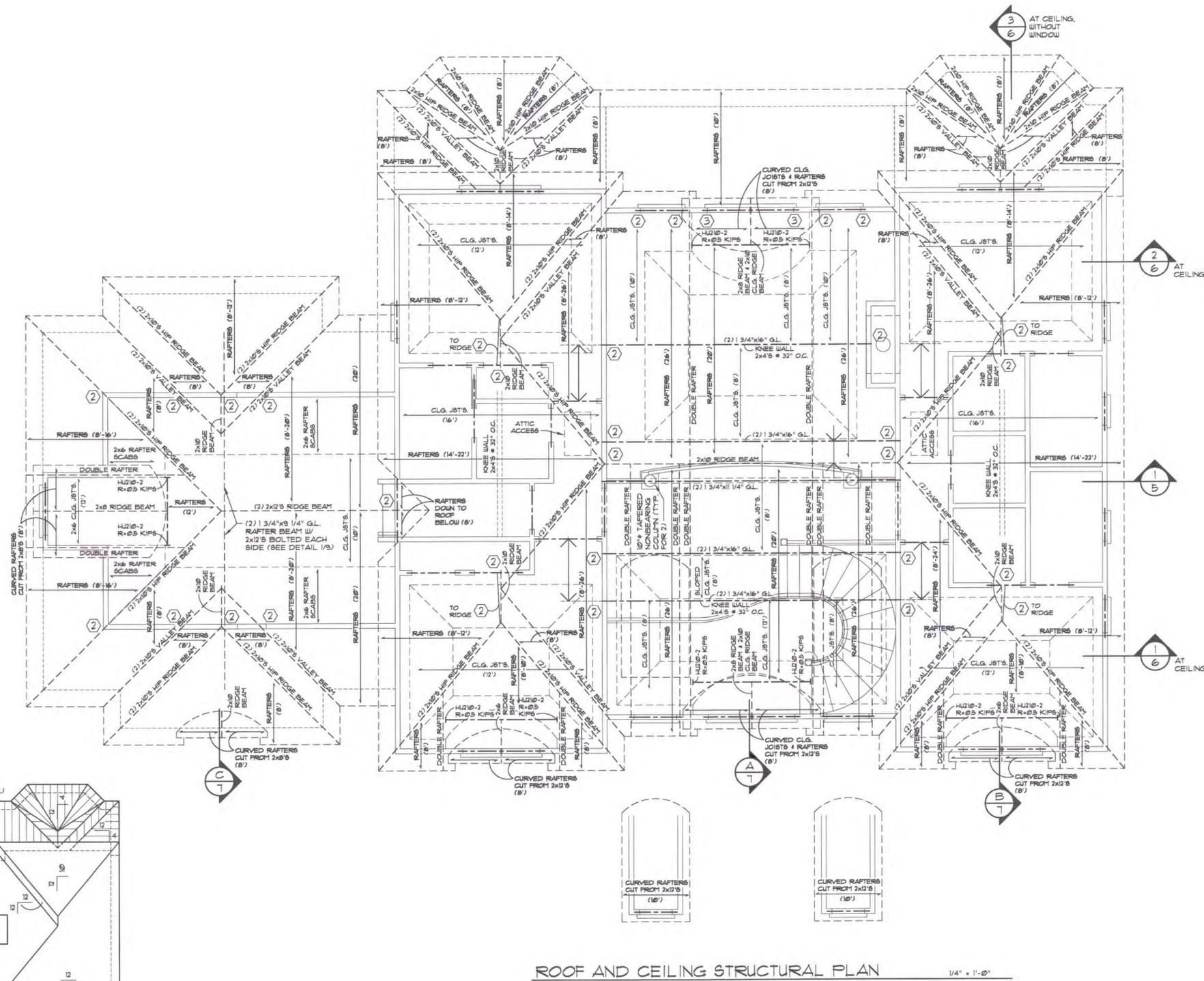
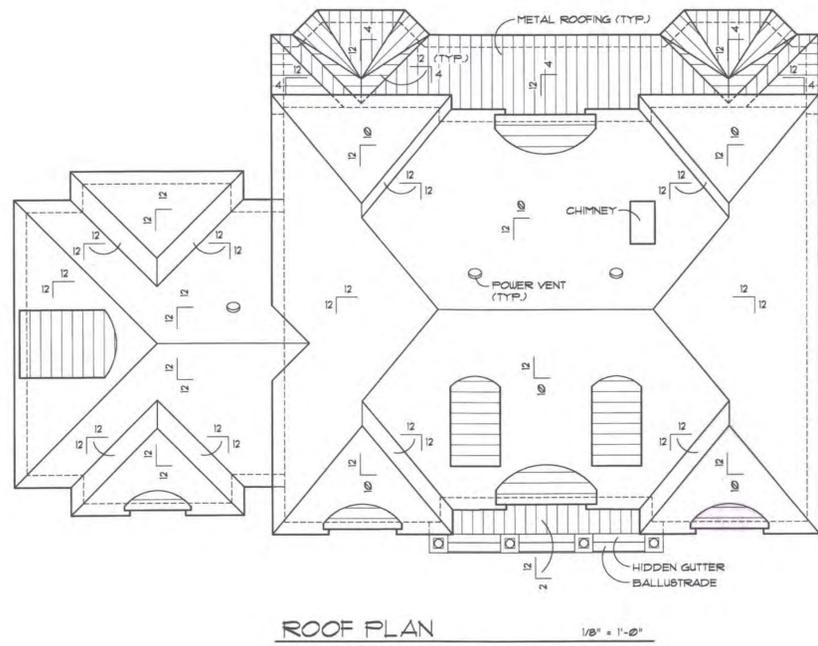
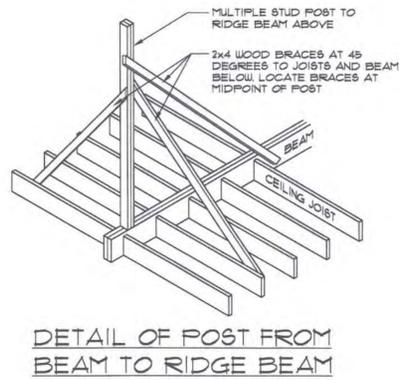
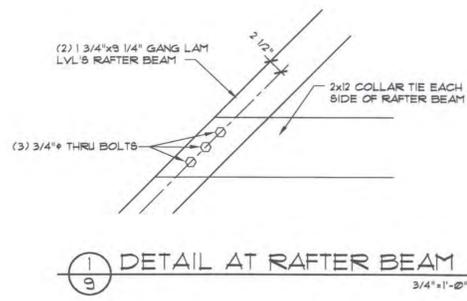
Dream Home
Laminate Floors



Morning Star
BAMBOO FLOORING

For a FREE catalog or a store near you, call 1-800-HARDWOOD or go to lumberliquidators.com

**Builders & Architects, call 800-274-2360
or email llwholesale@lumberliquidators.com**



Copyrighted © Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc.

REG #

It's a violation of the Federal Copyright Act to copy these plans. The federal copyright statute provides for monetary damages for each infringement of copyright from \$400 up to \$150,000.

Permission to construct the building depicted in the drawings is expressly conditioned on the full and timely payment of all fees otherwise due Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc. These plans can be used to construct ONE house only and the license CANNOT be transferred. See additional licensing terms on the packaging.

This copyright notice is "copyright management information" under the Digital Millennium Copyright Act, and Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc. requires its inclusion on all copies to discourage and police copyright infringement. Unauthorized reproduction or usage of these documents or removal of the notification is subject to prosecution.

DO NOT SCALE DRAWINGS.
 COPYRIGHT © 10/18/02 ALL RIGHTS RESERVED BY DONALD A. GARDNER, INC.
 NOT TO BE COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION

ALL FEDERAL, STATE, AND LOCAL CODES, ORDINANCES, REGULATIONS ETC. SHALL BE CONSIDERED AS PART OF SPECIFICATIONS FOR THIS BUILDING AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, DESCRIBED, OR IMPLIED WHERE SAME ARE AT VARIANCE

DESIGN NO. 990

SHEET OF DR 9 BT'S

ROOF AND CEILING STRUCTURAL PLAN

© DONALD A. GARDNER, INC.

ARCHITECTS • PLANNERS

P. O. BOX 26178 • GREENVILLE S. C. • 29616

864 • 288 • 7580

www.dongardner.com/BP

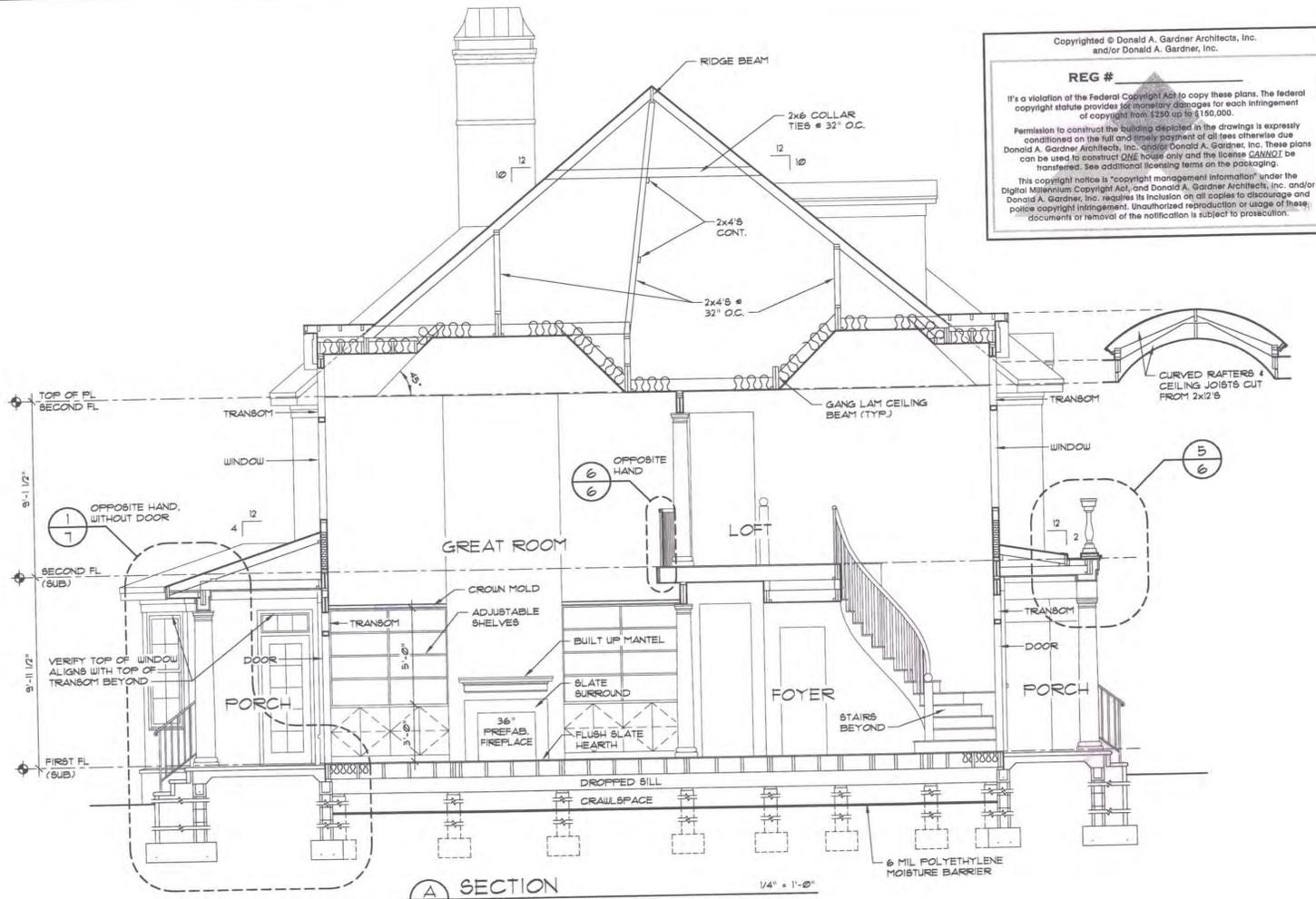
Copyrighted © Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc.

REG #

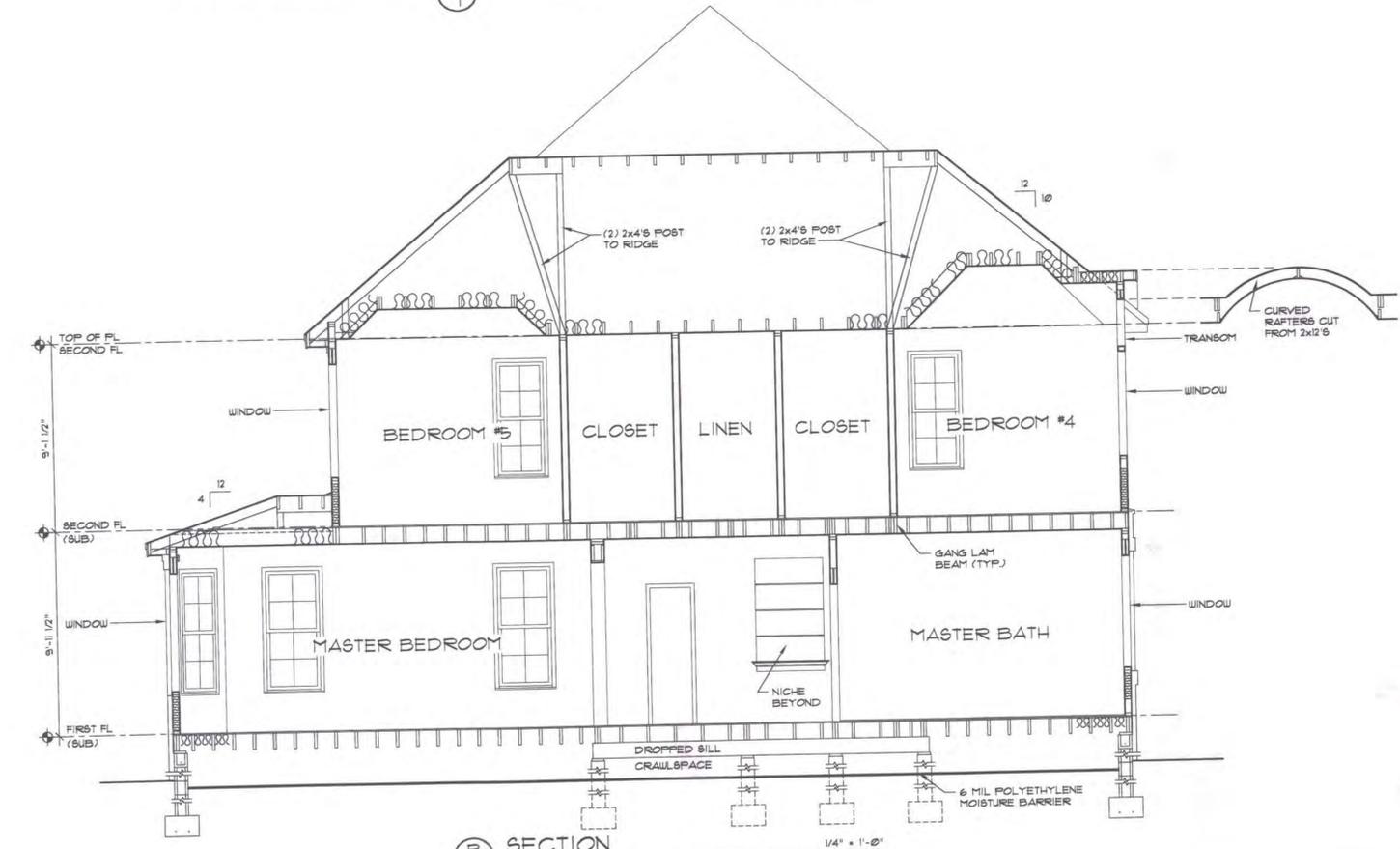
It's a violation of the Federal Copyright Act to copy these plans. The federal copyright statute provides for monetary damages for each infringement of copyright from \$250 up to \$150,000.

Permission to construct the building depicted in the drawings is expressly conditioned on the full and timely payment of all fees otherwise due Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc. These plans can be used to construct ONE house only and the license CANNOT be transferred. See additional licensing terms on the packaging.

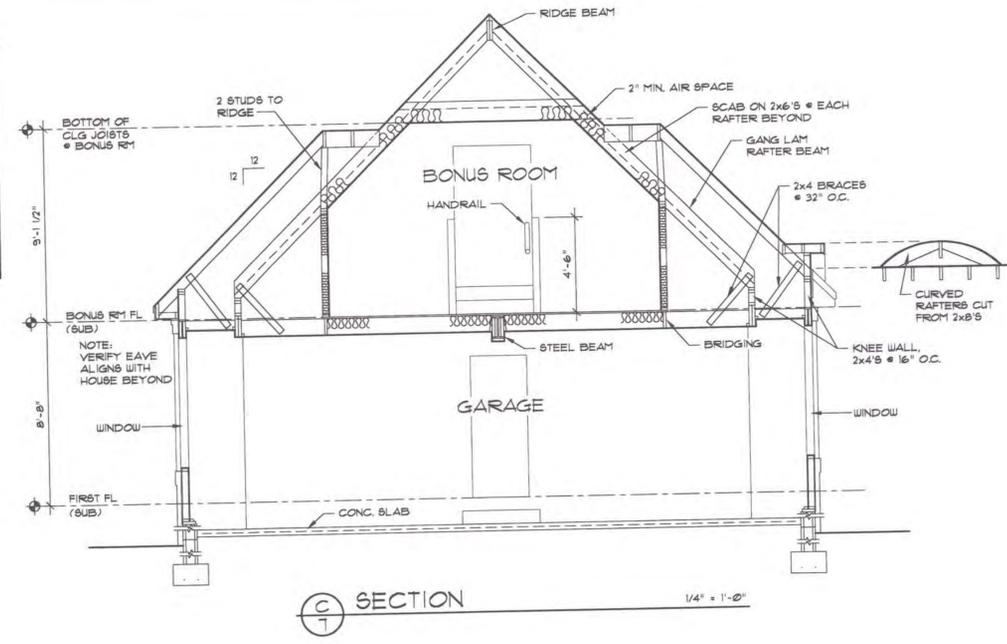
This copyright notice is "copyright management information" under the Digital Millennium Copyright Act, and Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc. requires its inclusion on all copies to discourage and police copyright infringement. Unauthorized reproduction or usage of these documents or removal of the notification is subject to prosecution.



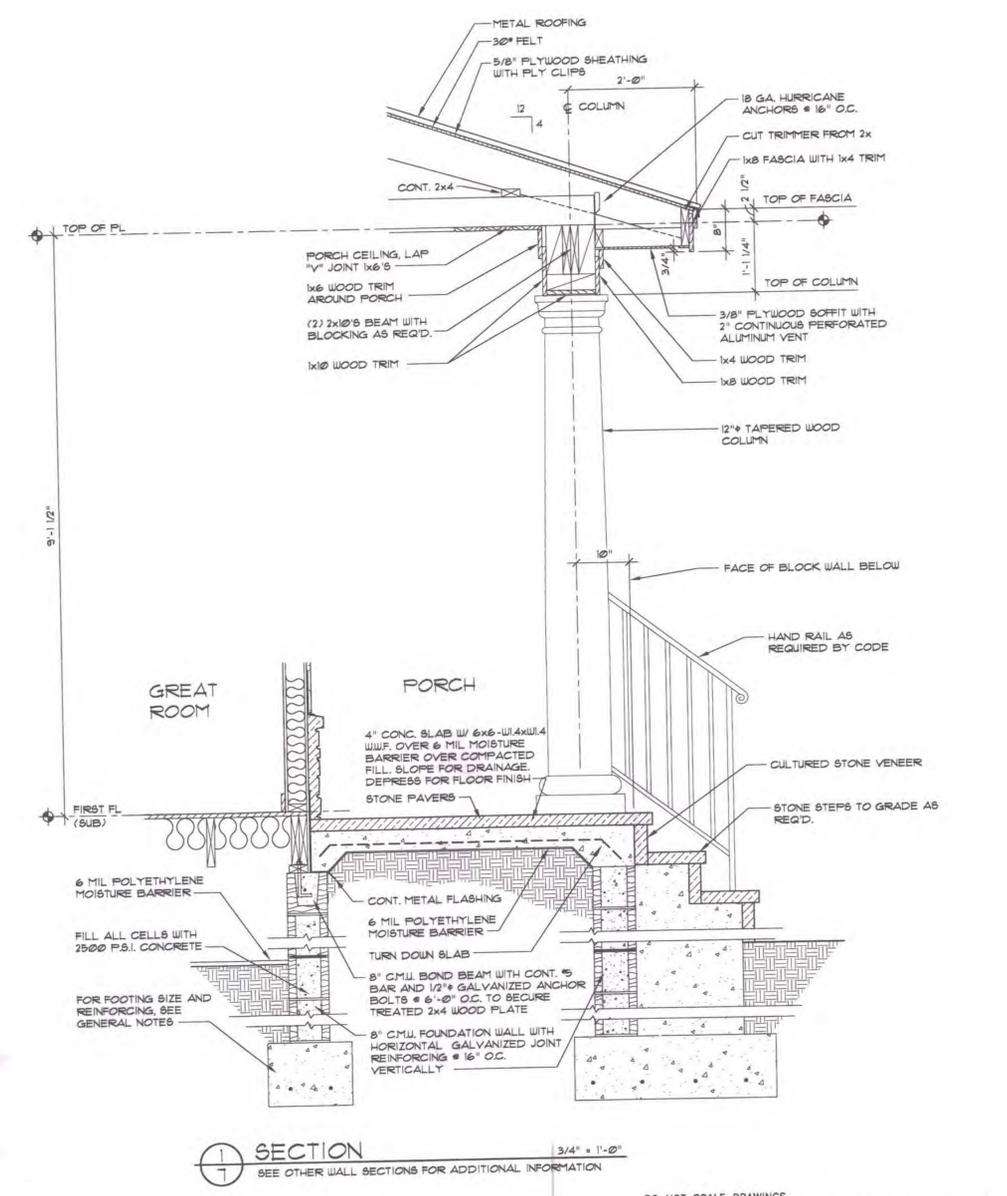
A-T SECTION 1/4" = 1'-0"



B-T SECTION 1/4" = 1'-0"



C-T SECTION 1/4" = 1'-0"



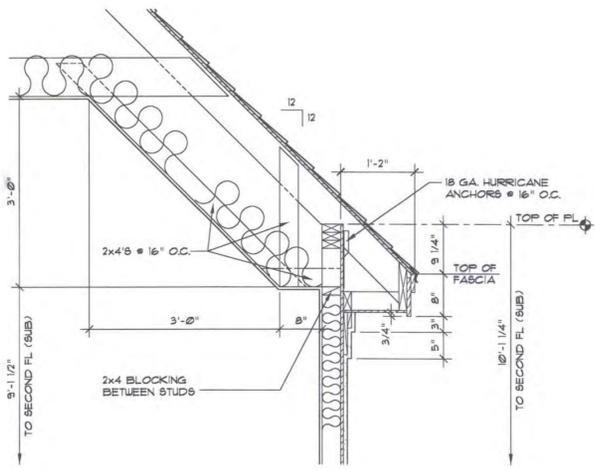
D-T SECTION 3/4" = 1'-0"
SEE OTHER WALL SECTIONS FOR ADDITIONAL INFORMATION

DO NOT SCALE DRAWINGS.
COPYRIGHT © 10/18/02 ALL RIGHTS RESERVED BY DONALD A. GARDNER, INC.
NOT TO BE COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION

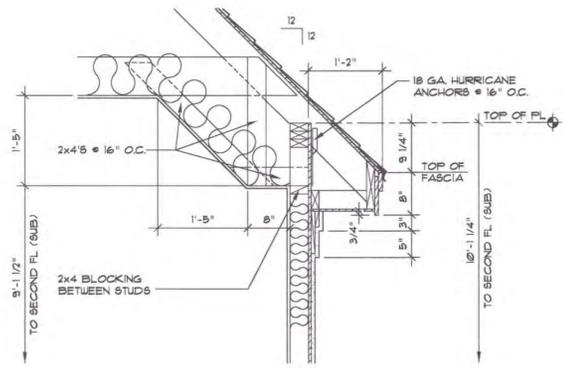
DONALD A. GARDNER, INC.
ARCHITECTS • PLANNERS
P.O. BOX 26178 • GREENVILLE S.C. • 29616
864 • 288 • 7580
www.dongardner.com/BP

DESIGN NO. 990
SHEET OF 9
DR BT5
SECTIONS

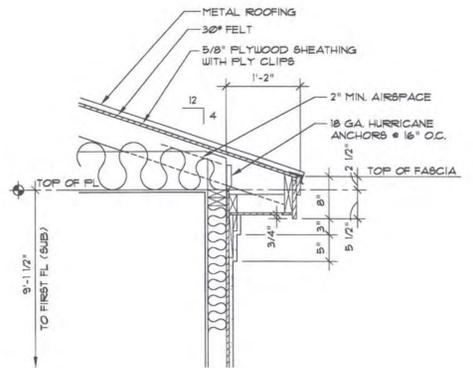
ALL FEDERAL, STATE, AND LOCAL CODES, ORDINANCES, REGULATIONS ETC. SHALL BE CONSIDERED AS PART OF SPECIFICATIONS FOR THIS BUILDING AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, DESCRIBED, OR IMPLIED WHERE SAME ARE AT VARIANCE



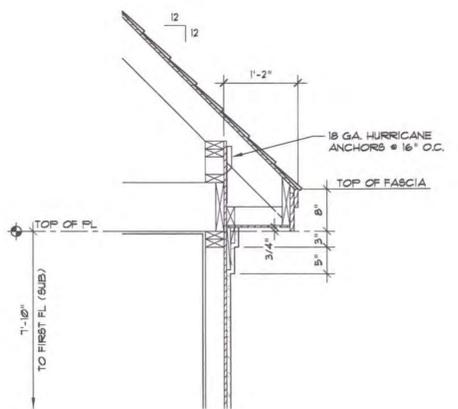
1 SECTION
 SEE OTHER WALL SECTIONS FOR ADDITIONAL INFORMATION
 3/4" = 1'-0"



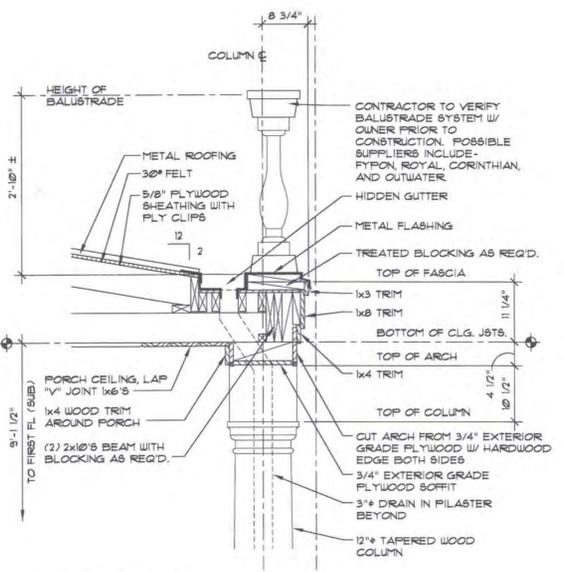
2 SECTION
 SEE OTHER WALL SECTIONS FOR ADDITIONAL INFORMATION
 3/4" = 1'-0"



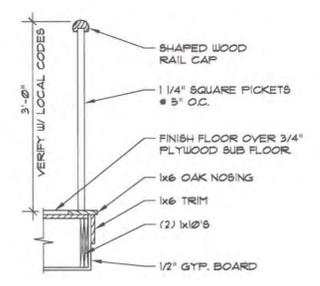
3 SECTION
 SEE OTHER WALL SECTIONS FOR ADDITIONAL INFORMATION
 3/4" = 1'-0"



4 SECTION
 SEE OTHER WALL SECTIONS FOR ADDITIONAL INFORMATION
 3/4" = 1'-0"

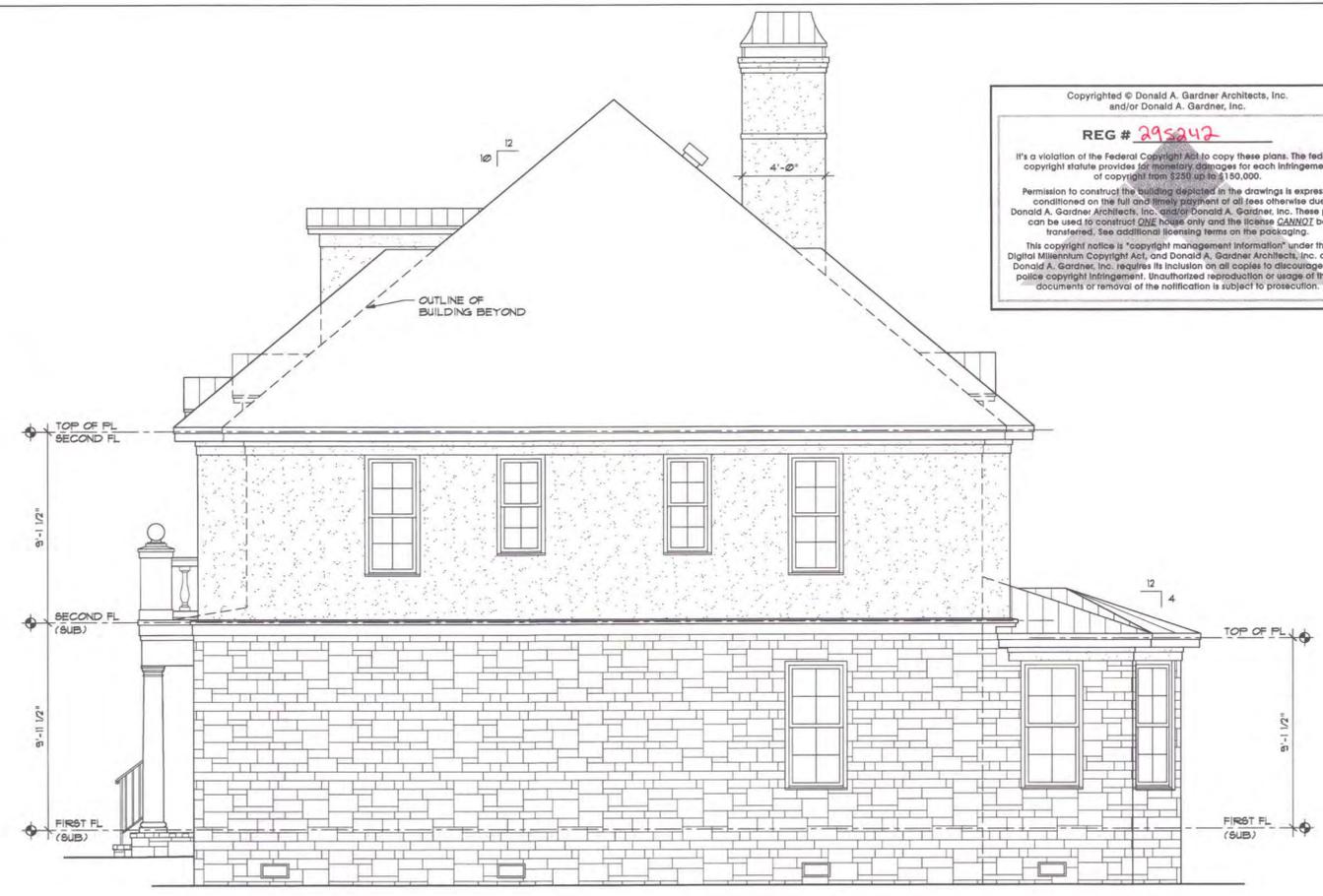


5 SECTION
 SEE OTHER WALL SECTIONS FOR ADDITIONAL INFORMATION
 3/4" = 1'-0"



6 SECTION
 3/4" = 1'-0"

Copyrighted © Donald A. Gardner Architects, Inc.
 and/or Donald A. Gardner, Inc.
REG # 295247
 It is a violation of the Federal Copyright Act to copy these plans. The federal copyright statute provides for monetary damages for each infringement of copyright from \$250 up to \$150,000.
 Permission to construct the building depicted in the drawings is expressly conditioned on the full and timely payment of all fees otherwise due Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc. These plans can be used to construct ONE house only and the license CANNOT be transferred. See additional licensing terms on the posting.
 This copyright notice is "copyright management information" under the Digital Millennium Copyright Act, and Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc. requires its inclusion on all copies to discourage and police copyright infringement. Unauthorized reproduction or usage of these documents or removal of the notification is subject to prosecution.



RIGHT SIDE ELEVATION
 1/4" = 1'-0"



LEFT SIDE ELEVATION
 1/4" = 1'-0"

DO NOT SCALE DRAWINGS.
 COPYRIGHT © 10/18/02 ALL RIGHTS RESERVED BY DONALD A. GARDNER, INC.
 NOT TO BE COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION

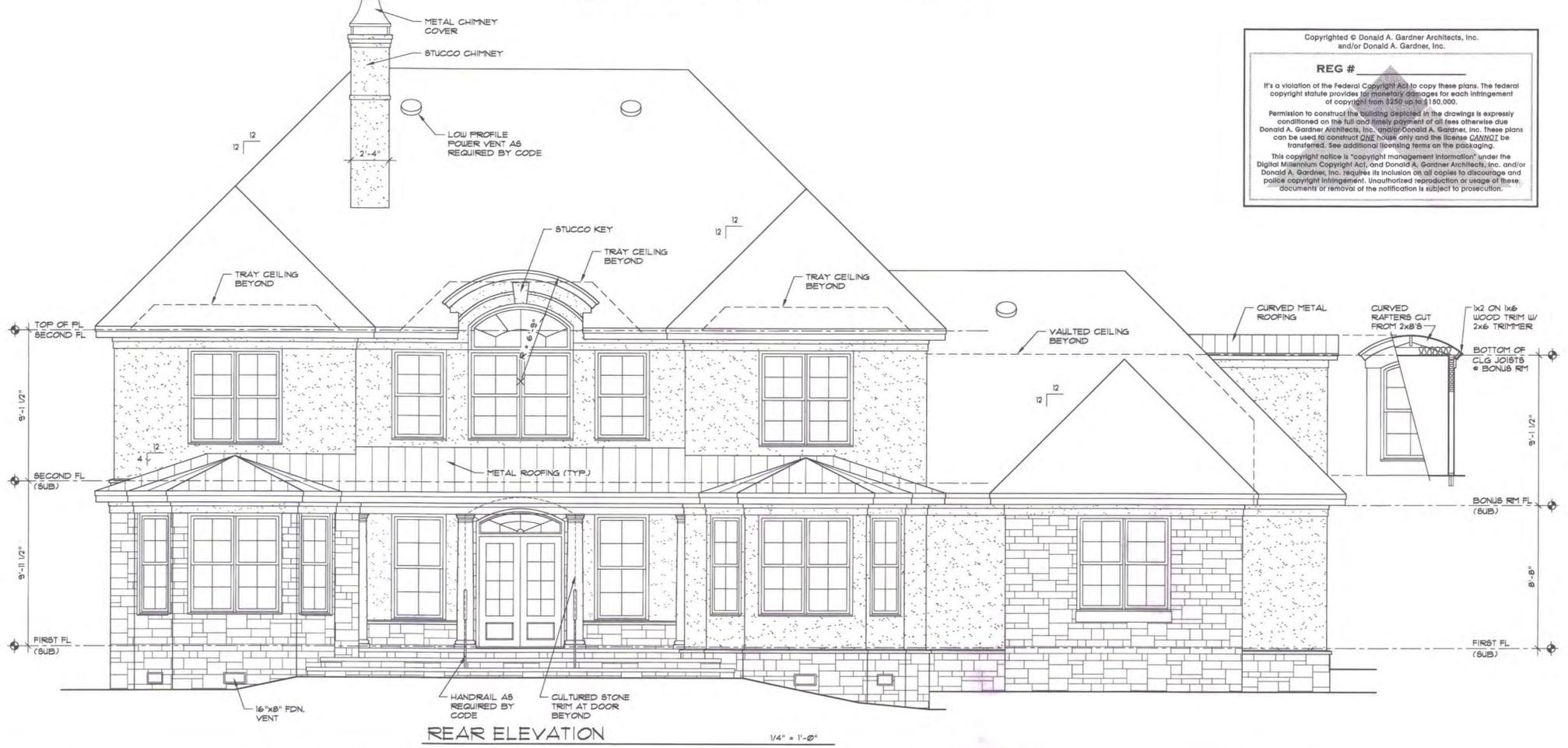
ALL FEDERAL, STATE, AND LOCAL
 CODES, ORDINANCES, REGULATIONS
 ETC. SHALL BE CONSIDERED AS PART
 OF SPECIFICATIONS FOR THIS BUILDING
 AND SHALL TAKE PREFERENCE OVER
 ANYTHING SHOWN, DESCRIBED, OR
 IMPLIED WHERE SAME ARE AT VARIANCE

DONALD A. GARDNER, INC.
 ARCHITECTS • PLANNERS
 P.O. BOX 26178 • GREENVILLE S.C. • 29616
 864 • 288 • 7580
 www.dongardner.com/BP

DESIGN NO. 930
 SHEET OF 69 ETS
 ELEVATIONS



FRONT ELEVATION



REAR ELEVATION

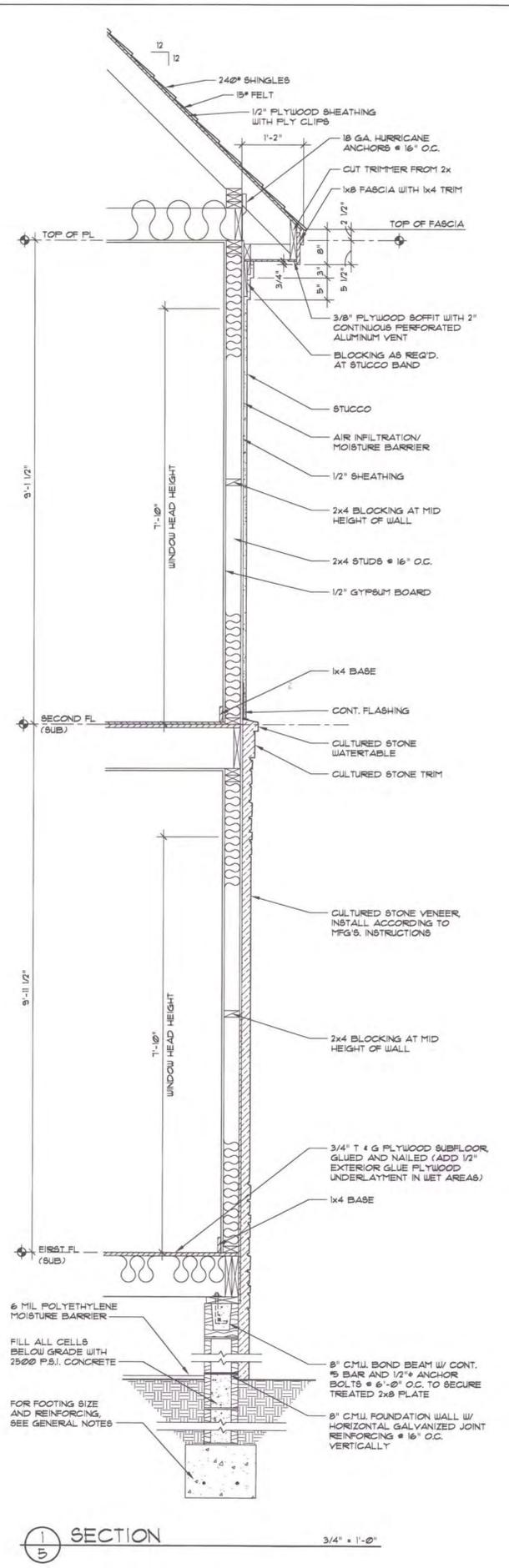
Copyrighted © Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc.

REG #

If a violation of the Federal Copyright Act to copy these plans. The federal copyright statute provides for monetary damages for each infringement of copyright from \$250 up to \$150,000.

Permission to construct the building depicted in the drawings is expressly conditioned on the full and timely payment of all fees otherwise due Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc. These plans can be used to construct ONE house only and the license CANNOT be transferred. See additional licensing terms on the packaging.

This copyright notice is "copyright management information" under the Digital Millennium Copyright Act, and Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc. require its inclusion on all copies to discourage and police copyright infringement. Unauthorized reproduction or usage of these documents or removal of the notification is subject to prosecution.



SECTION

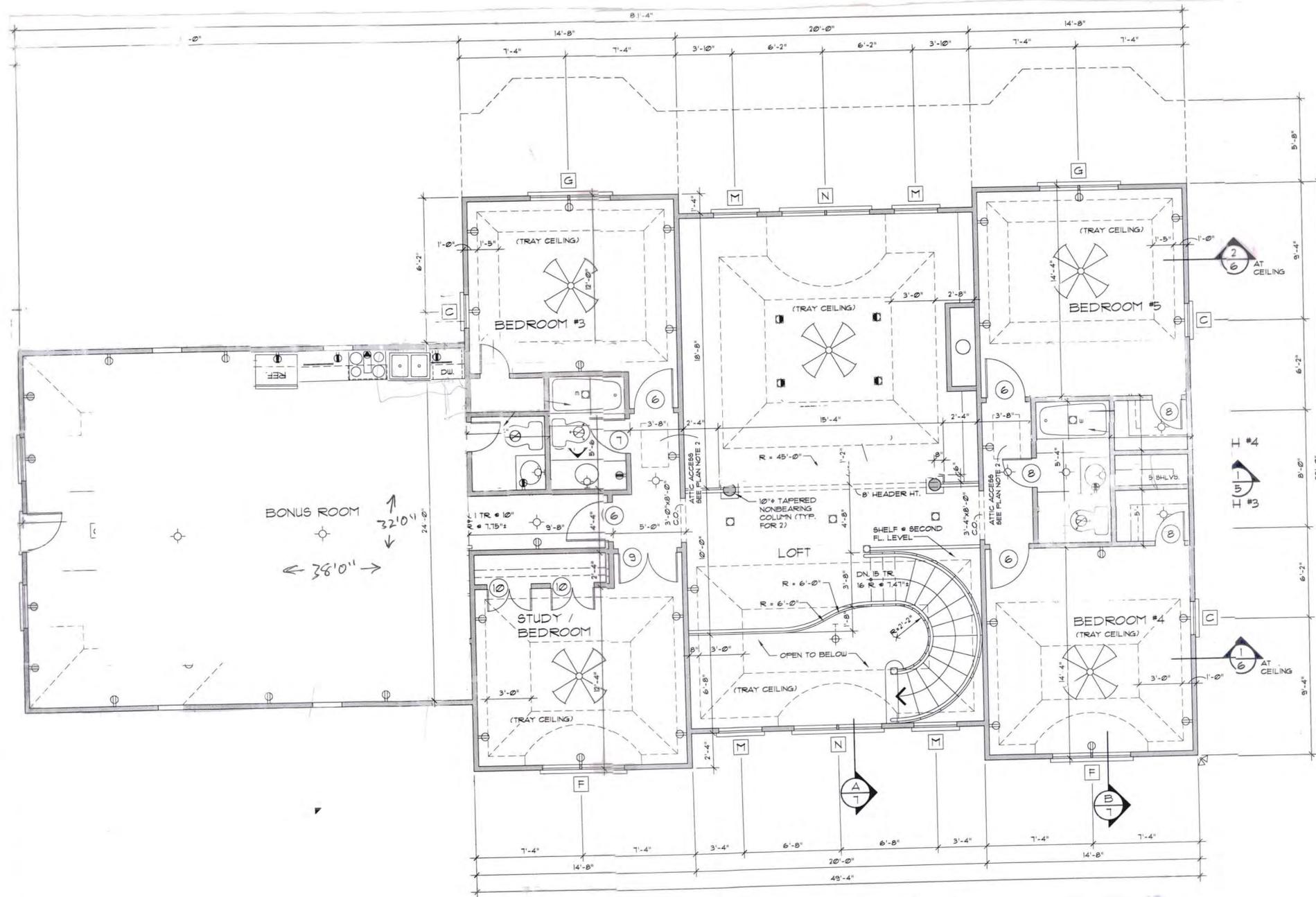
DO NOT SCALE DRAWINGS.
 COPYRIGHT © 10/18/02 ALL RIGHTS RESERVED BY DONALD A. GARDNER, INC.
 NOT TO BE COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION

ALL FEDERAL, STATE, AND LOCAL CODES, ORDINANCES, REGULATIONS ETC. SHALL BE CONSIDERED AS PART OF SPECIFICATIONS FOR THIS BUILDING AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, DESCRIBED, OR IMPLIED WHERE SAME ARE AT VARIANCE

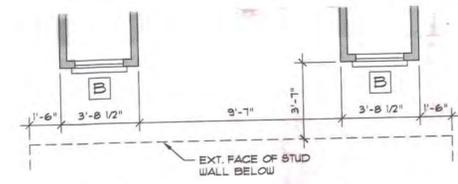
DONALD A. GARDNER, INC.
 ARCHITECTS • PLANNERS
 P.O. BOX 26178 • GREENVILLE S.C. • 29616
 864 • 288 • 7580
 www.dongardner.com/BP

DESIGN NO. 990
 SHEET OF DR 59 B15
 ELEVATIONS

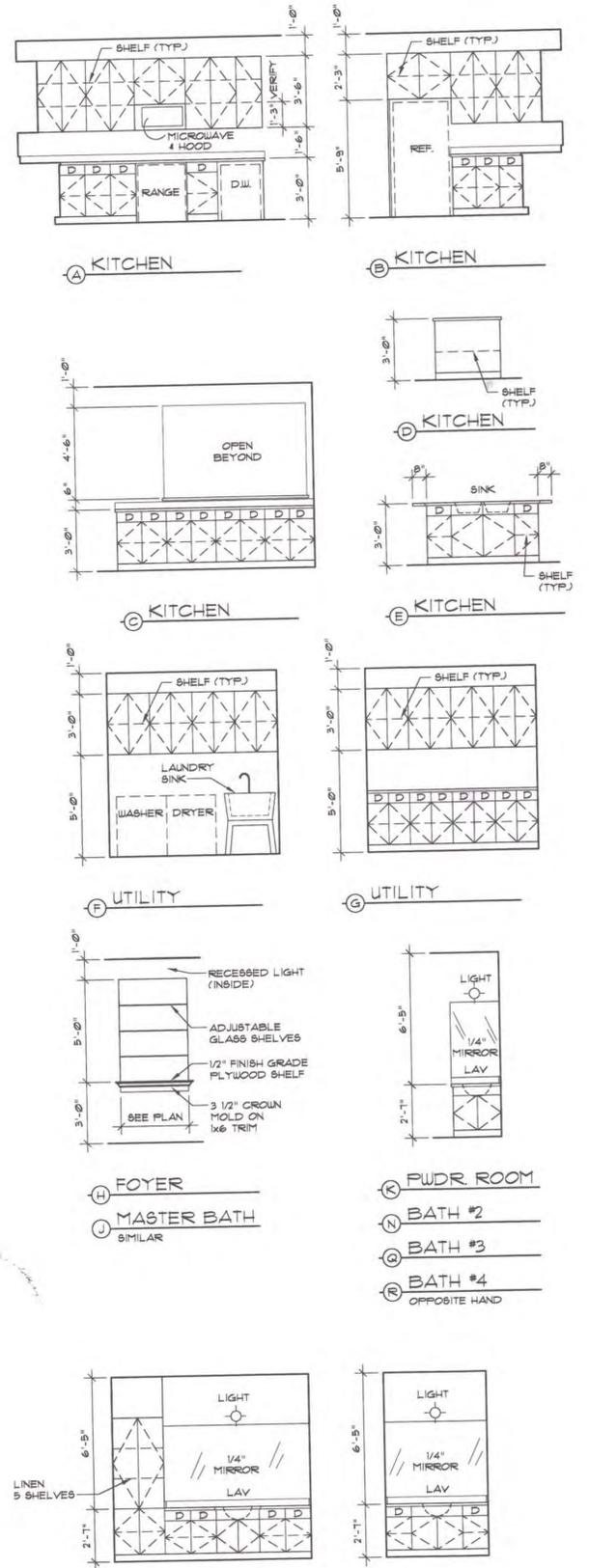
11/15/02 15:45
 DONALD A. GARDNER ARCHITECTS, INC.



SECOND FLOOR PLAN 1/4" = 1'-0"



DORMER PLAN 1/4" = 1'-0"



INTERIOR ELEVATIONS 1/4" = 1'-0"

Copyrighted © Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc.
REG #
 It's a violation of the Federal Copyright Act to copy these plans. The federal copyright statute provides for monetary damages for each infringement of copyright from \$200 to \$150,000.
 Permission to construct the building depicted in the drawings is expressly conditioned on the full and timely payment of all fees otherwise due Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc. These plans can be used to construct ONE house only and the license CANNOT be transferred. See additional licensing terms on the packaging.
 This copyright notice is "copyright management information" under the Digital Millennium Copyright Act and Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc. requires its inclusion on all copies to discourage and police copyright infringement. Unauthorized reproduction or usage of these documents or removal of the notification is subject to prosecution.

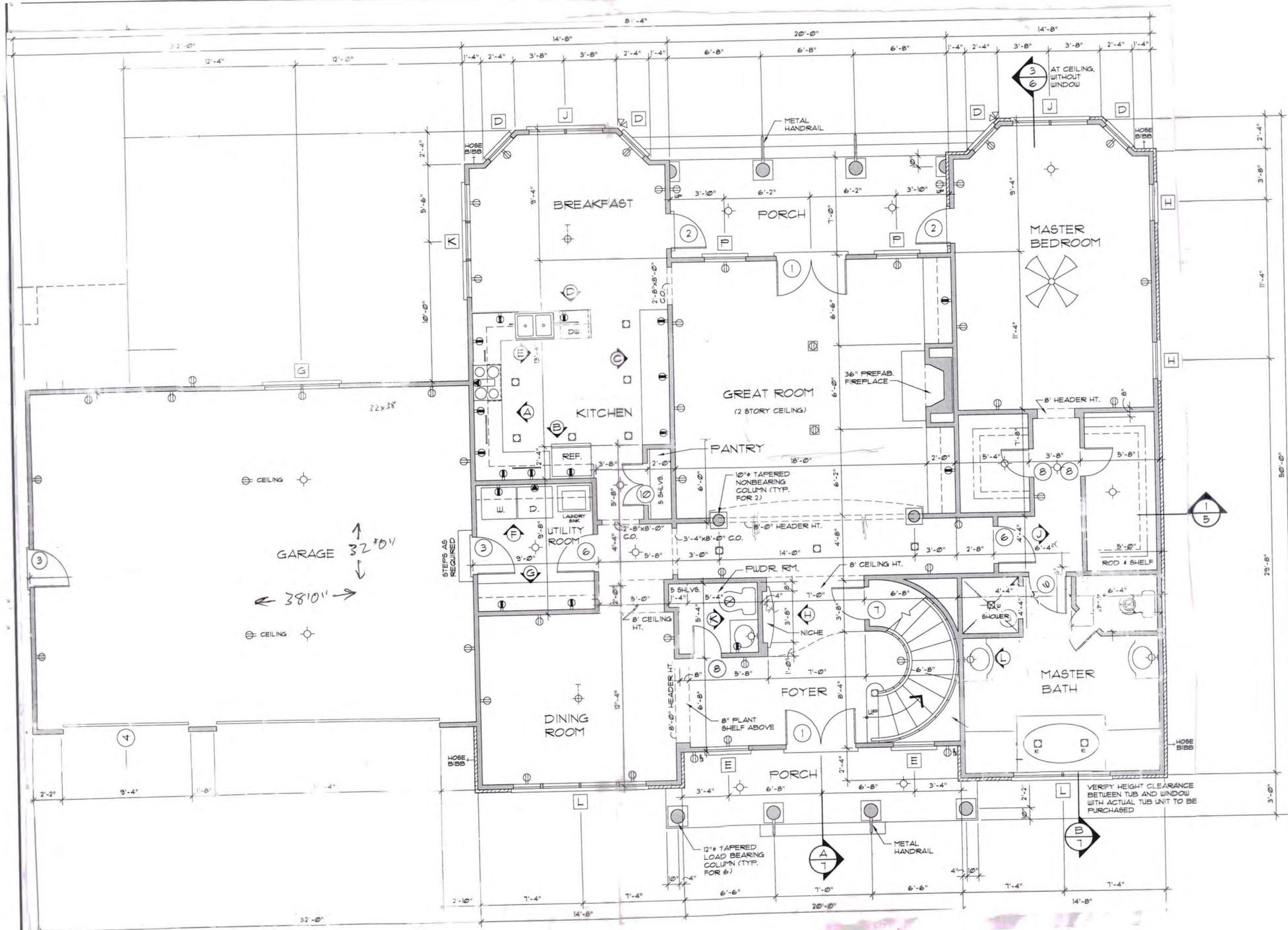
DO NOT SCALE DRAWINGS.
 COPYRIGHT ©10/18/02 ALL RIGHTS RESERVED BY DONALD A. GARDNER, INC.
 NOT TO BE COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION

ALL FEDERAL, STATE, AND LOCAL CODES, ORDINANCES, REGULATIONS ETC. SHALL BE CONSIDERED AS PART OF SPECIFICATIONS FOR THIS BUILDING AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, DESCRIBED, OR IMPLIED WHERE SAME ARE IN VARIANCE

DONALD A. GARDNER, INC.
 ARCHITECTS • PLANNERS
 P.O. BOX 26178 • GREENVILLE S.C. • 29616
 864 • 288 • 7580
 www.dongardner.com/BP

DESIGN NO. 990
 SHEET OF 4 DR ETS
 SECOND FLOOR PLAN

J:\ARCH\CDTS\990\9902.DWG 11/07/02 DB:AT



FIRST FLOOR PLAN

1/4" = 1'-0"

FIRST FLOOR	2062 sq. ft.
SECOND FLOOR	1653 sq. ft.
TOTAL LIVING	3721 sq. ft.
GARAGE & STORAGE	762 sq. ft.
BONUS ROOM	762 sq. ft.

PLAN NOTES:

- VERIFY ALL LOCAL CODES, ENERGY TYPES, AND SITE CONDITIONS PRIOR TO CONSTRUCTION.
- REVIEW SELECTED MECHANICAL SYSTEMS WITH OWNER PRIOR TO CONSTRUCTION.
REVIEW SUB-CONTRACTORS LOCATIONS OF THE WATER HEATER AND HVAC UNIT(S) WITH THE OWNER PRIOR TO CONSTRUCTION. VERIFY LOCAL BUILDING CODE REQUIREMENTS AND MANUFACTURER REQUIREMENTS FOR ATTIC, CRAWL SPACE, OR GARAGE LOCATIONS.
HVAC EQUIPMENT IN THE ATTIC SPACE SHALL BE ACCESSIBLE BY AN OPENING LARGER THAN THE LARGEST PIECE OF EQUIPMENT (TO ALLOW REMOVAL OF THE EQUIPMENT) AND IN NO CASE LESS THAN 22"x36".
- SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- INSULATE AROUND ALL BATHS AND UTILITY ROOM.
- TYPICAL WALL, 2x4'S @ 16" O.C., UNLESS OTHERWISE DIMENSIONED.
- PROVIDE SMOKE DETECTORS AS REQUIRED BY CODE.
- PROVIDE DOORBELLS, TRANSFORMER, AND CHIME.

DOOR SCHEDULE				SYMBOL
MARK	SIZE	QUAN.	DESCRIPTION	
1	(2) 2'-6" x 6'-8"	2	EXT. THREE-QUARTER GLASS W/ 8" ARCH HEAD TRANSOM #	
2	2'-6" x 6'-8"	2	EXT. FULL GLASS W/ 12" TRANSOM	
3	2'-8" x 6'-8"	1	EXT. 1 HOUR FIRE-RATED	
4	8'-0" x 7'-0"	2	GARAGE	
5	2'-0" x 6'-8"	1	INT. POCKET DOOR	
6	2'-8" x 6'-8"	6	INT.	
7	2'-4" x 6'-8"	6	INT.	
8	2'-0" x 6'-8"	1	INT.	
9	(2) 2'-0" x 6'-8"	2	INT.	
10	(2) 1'-6" x 6'-8"	3	INT.	

SEE ELEVATION FOR TRANSOM.

WINDOW SCHEDULE				SYMBOL
MARK	SIZE	QUAN.	DESCRIPTION	
A	2'-0" x 4'-6"	2	D.H.	
B	2'-4" x 4'-2"	2	D.H., ARCH HEAD	
C	2'-4" x 5'-6"	3	D.H.	
D	2'-4" x 5'-10"	4	D.H.	
E	3'-0" x 4'-2"	2	D.H.	
F	(2) 2'-8" x 5'-2"	2	D.H. W/ 1'-2" ARCH HEAD TRANSOM #	
G	(2) 2'-8" x 5'-6"	4	D.H.	
H	2'-8" x 5'-10"	2	D.H.	
J	(2) 2'-8" x 5'-10"	2	D.H.	
K	(3) 2'-8" x 5'-10"	1	D.H.	
L	2'-0" x 5'-6"	2	D.H.	
M	3'-0" x 5'-2"	4	D.H.	
N	(2) 3'-0" x 5'-2"	2	D.H. W/ 1'-4" ARCH HEAD TRANSOM #	
P	3'-0" x 6'-2"	2	D.H.	
Q	3'-4" x 5'-10"	1	D.H., ARCH HEAD	

ALL WINDOWS ARE INSULATED AND WEATHERSTRIPPED. VERIFY LOCAL CODE EGRESS WINDOW REQUIREMENTS PRIOR TO CONSTRUCTION. WINDOW MANUFACTURER TO PROVIDE TEMPERED GLASS WHERE REQUIRED BY CODE. VERIFY WINDOW MODEL NUMBERS AND SIZES WITH MANUFACTURER BEFORE STARTING CONSTRUCTION.
SEE ELEVATION FOR TRANSOM.

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	DUPLEX OUTLET (GROUNDED TYPE)
	WEATHER PROOF DUPLEX OUTLET
	FLUSH FLOOR DUPLEX OUTLET, OWNER VERIFY LOCATION
	220 VOLT OUTLET OR CONNECTION
	CEILING MOUNTED LIGHT FIXTURE
	WALL BRACKET MOUNTED LIGHT FIXTURE
	SUSPENDED CEILING MOUNTED LIGHT FIXTURE
	RECESSED DIRECTIONAL CEILING LIGHT FIXTURE
	RECESSED CEILING LIGHT FIXTURE
	RECESSED LIGHT FOR WET AREA
	UNDER CABINET FLUORESCENT LIGHT
	EXTERIOR CAST ALUMINUM FLOOD LIGHTS
	CEILING MOUNTED PADDLE FAN W/ LIGHT
	CEILING MOUNTED FAN - EXHAUST
	CEILING MOUNTED FAN AND HEATER
	CEILING MOUNTED FAN, LIGHT, AND HEATER

Copyrighted © Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc.
REG # 299242
It's a violation of the Federal Copyright Act to copy these plans. The federal copyright statute provides for monetary damages for each infringement of copyright from \$250 to \$50,000.
Permission to construct the building depicted in the drawings is expressly conditioned on the full and timely payment of all fees otherwise due Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc. These plans can be used to construct ONE house only and the license CANNOT be transferred. See additional licensing terms on the packaging.
This copyright notice is "copyright management information" under the Digital Millennium Copyright Act, and Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc. requires its inclusion on all copies to discourage and police copyright infringement. Unauthorized reproduction or usage of these documents or removal of the notification is subject to prosecution.

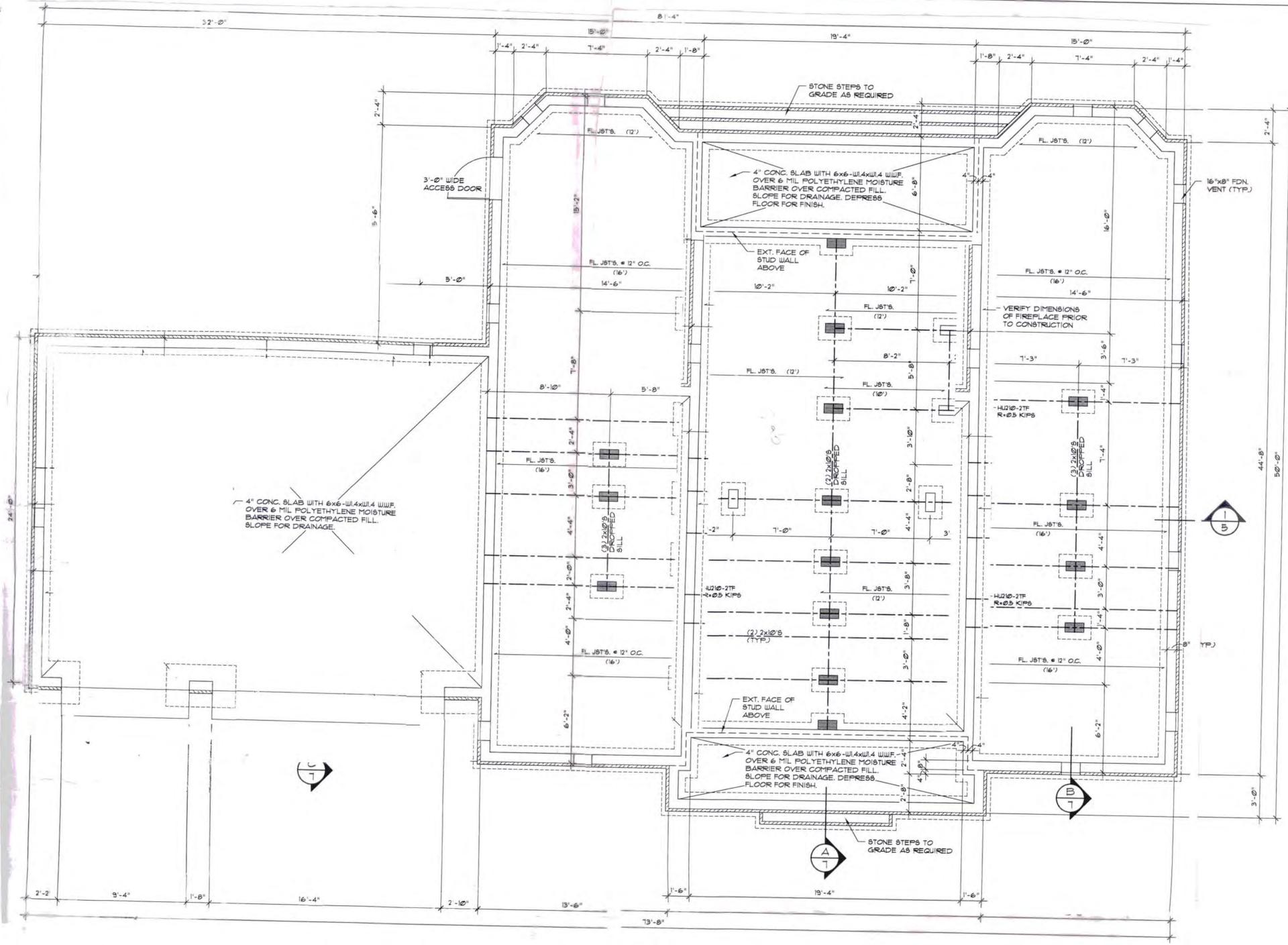
DO NOT SCALE DRAWINGS.
COPYRIGHT ©10/18/02 ALL RIGHTS RESERVED BY DONALD A. GARDNER, INC.
NOT TO BE COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION

ALL FEDERAL, STATE, AND LOCAL CODES, ORDINANCES, REGULATIONS ETC. SHALL BE CONSIDERED AS PART OF SPECIFICATIONS FOR THIS BUILDING AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, DESCRIBED, OR IMPLIED WHERE SAME ARE AT VARIANCE

12/18/2006

DONALD A. GARDNER, INC.
ARCHITECTS • PLANNERS
P.O. BOX 26178 • GREENVILLE S.C. • 29616
864 • 288 • 7580
www.dongardner.com/BP

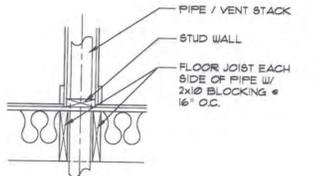
DESIGN NO. 990
SHEET OF 39 B.TS
FIRST FLOOR PLAN



FOUNDATION AND FIRST FLOOR FRAMING PLAN

NOTE: IN LIEU OF INSTALLING 6 MIL POLYETHYLENE MOISTURE BARRIER IN CRACK SPACE, CONTRACTOR MAY PROVIDE A TOTAL OF (21) 16"x8" FOUNDATION VENTS (ASSUMED 50% NET FREE AREA PER VENT)

1/4" = 1'-0"



TYPICAL PIPE THRU FLOOR
3/4" = 1'-0"

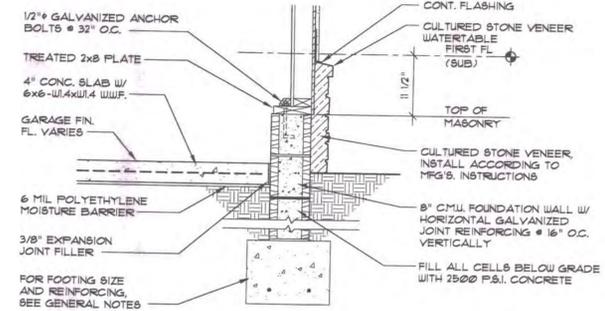
Copyrighted © Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc.

REG #

It's a violation of the Federal Copyright Act to copy these plans. The federal copyright statute provides for monetary damages for each infringement of copyright from \$500 up to \$150,000.

Permission to construct the building depicted in the drawings is expressly conditioned on the full and timely payment of all fees otherwise due Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc. These plans can be used to construct ONE house only and the license CANNOT be transferred. See additional licensing terms on the packaging.

This copyright notice is "copyright management information" under the Digital Millennium Copyright Act, and Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc. requires its inclusion on all copies to discourage and police copyright infringement. Unauthorized reproduction or usage of these documents or removal of the notification is subject to prosecution.

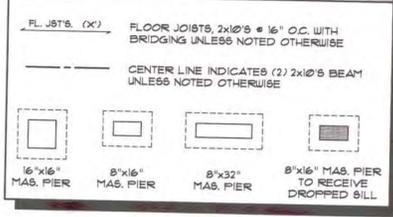


SECTION
SEE OTHER WALL SECTIONS FOR ADDITIONAL INFORMATION
3/4" = 1'-0"

GENERAL NOTES

- A. GENERAL:**
- AT THE TIME OF CREATION, PLANS CONFORM TO "CABO ONE AND TWO FAMILY DWELLING CODE," OR THE "INTERNATIONAL RESIDENTIAL CODE," HOWEVER MODIFICATIONS MAY BE NECESSARY TO COMPLY WITH LOCAL AND STATE CODES.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS.
 - CONTRACTOR SHALL COMPLY WITH THE CONTENTS OF THE SPECIFICATIONS FOR THIS HOUSE.
 - ALL WOOD USED IN CONSTRUCTION OF DECKS AND STEPS SHALL BE TREATED. FASTENERS FOR TREATED WOOD (NAILS, BOLTS, HARDWARE, ETC.) SHALL BE GALVANIZED.
 - CONTRACTOR SHALL INSTALL GROUND FAULT INTERRUPT OUTLETS AS PER CODE.
 - INSTALL ROOFING MATERIALS ACCORDING TO MANUFACTURER'S RECOMMENDATIONS FOR THE AREA AND CLIMATE, INCLUDING BUT NOT LIMITED TO SHINGLES, TILES, FELTS, FLASHING, AND FASTENING DEVICES.
 - HEARTH DIMENSIONS DETERMINED BY CODE.
 - INSTALL ALL EXTERIOR FINISH MATERIALS PER MANUFACTURER'S RECOMMENDATIONS (I.E. CONTROL JOINTS, ATTACHMENT/ANCHORING DEVICES, FLASHING, SEALANTS, ETC.)
- B. FRAMING:**
- JOIST SPANS WERE DETERMINED ON THE BASIS OF THE ALLOWABLE STRESSES IN THE "1991" GRADING RULES OF THE SOUTHERN PINE INSPECTION BUREAU; GRADE NUMBER TWO (2) KILN DRIED.
 - PROVIDE DOUBLE JOISTS BELOW ALL PARALLEL PARTITIONS, ABOVE AND AROUND ALL OPENINGS NOT INDICATED ON DRAWINGS.
 - PROVIDE SOLID BLOCKING BETWEEN FLOOR JOISTS UNDER WALLS THAT ARE PERPENDICULAR TO FLOOR JOISTS.
 - SHEATH ALL EXTERIOR WALLS WITH NOMINAL 1/2" STRUCTURAL GRADE 2 PLYWOOD OR NOMINAL 1/2" OSB (ORIENTED STRAND BOARD).
- C. VENTILATION:**
- PROVIDE CONTINUOUS RIDGE VENTS ON ALL ROOFS. LOCATE DOUBLE RIDGE BEAMS TO ALLOW FOR PROPER INSTALLATION OF RIDGE VENTS.
 - PROVIDE CONTINUOUS ROOF TO WALL VENTS AT ALL JUNCTURES OF SLOPED ROOFS AND VERTICAL WALLS.
- D. FOOTINGS:**
- CARRY ALL FOOTINGS TO FIRM UNDISTURBED BEARING:
 - A. 16" x 12" FOOTING FOR 8" OR 9" FOUNDATION WALL WITH (2) #4 REIN. RODS CONTINUOUS.
 - B. 24" x 12" FOOTING FOR 12" FOUNDATION WALL WITH (2) #4 REIN. RODS CONTINUOUS.
- E. PIER FOOTINGS:**
- PIER FOOTINGS (TYPICAL UNLESS NOTED OTHERWISE)
- PROVIDE 1'-8"x2'-4"x1'-0" DEEP CONCRETE FOOTING WITH (3) #4 REIN. RODS EACH WAY UNDER 8"x16" MASONRY PIERS.
 - PROVIDE 2'-4" SQUARE x 1'-0" DEEP CONCRETE FOOTING WITH (3) #4 REIN. RODS EACH WAY UNDER 16" SQUARE MASONRY PIERS.
 - PROVIDE 1'-8"x3'-8"x1'-0" DEEP CONCRETE FOOTING WITH (3) #4 REIN. RODS EACH WAY UNDER 8"x32" MASONRY PIERS.
 - FILL PIERS SOLID WITH 2500 P.S.I. CONCRETE, TYPICAL. HEIGHT OF PIERS:
 - A. PIERS LESS THAN 36" IN HEIGHT MAY BE 8"x16" OR AS NOTED ON FOUNDATION PLAN.
 - B. PIERS BETWEEN 36" AND 80" IN HEIGHT SHALL BE A MINIMUM OF 16"x16".
 - C. PIERS GREATER THAN 80" IN HEIGHT SHALL BE A MINIMUM OF 16"x16" WITH (4) CONTINUOUS #5 BARS.
- F. CHIMNEY CONSTRUCTION:**
- USE NOMINAL 1/2" STRUCTURAL GRADE 2 PLYWOOD OR NOMINAL 1/2" OSB (ORIENTED STRAND BOARD) SHEATHING.
 - SPlice ONLY ONE CORNER STUD AT ANY SPlice. STAGGER SPlices AT LEAST 3'-0" AND USE (4) STUDS PER CORNER.
 - USE 10D NAILS @ 4" O.C. AROUND ALL PLYWOOD SHEATHING AND 12" O.C. AT ALL INTERMEDIATE SUPPORTS.
 - PROVIDE BLOCKING BETWEEN STUDS AT 4'-0" INTERVALS.
 - CONTRACTOR TO VERIFY CHIMNEY FINISH MATERIAL WITH OWNER PRIOR TO CONSTRUCTION. IF BRICK MASONRY IS REQUIRED, CONTRACTOR TO MODIFY CONSTRUCTION OF FIREPLACE AND CHIMNEY AS REQUIRED.

FOUNDATION LEGEND

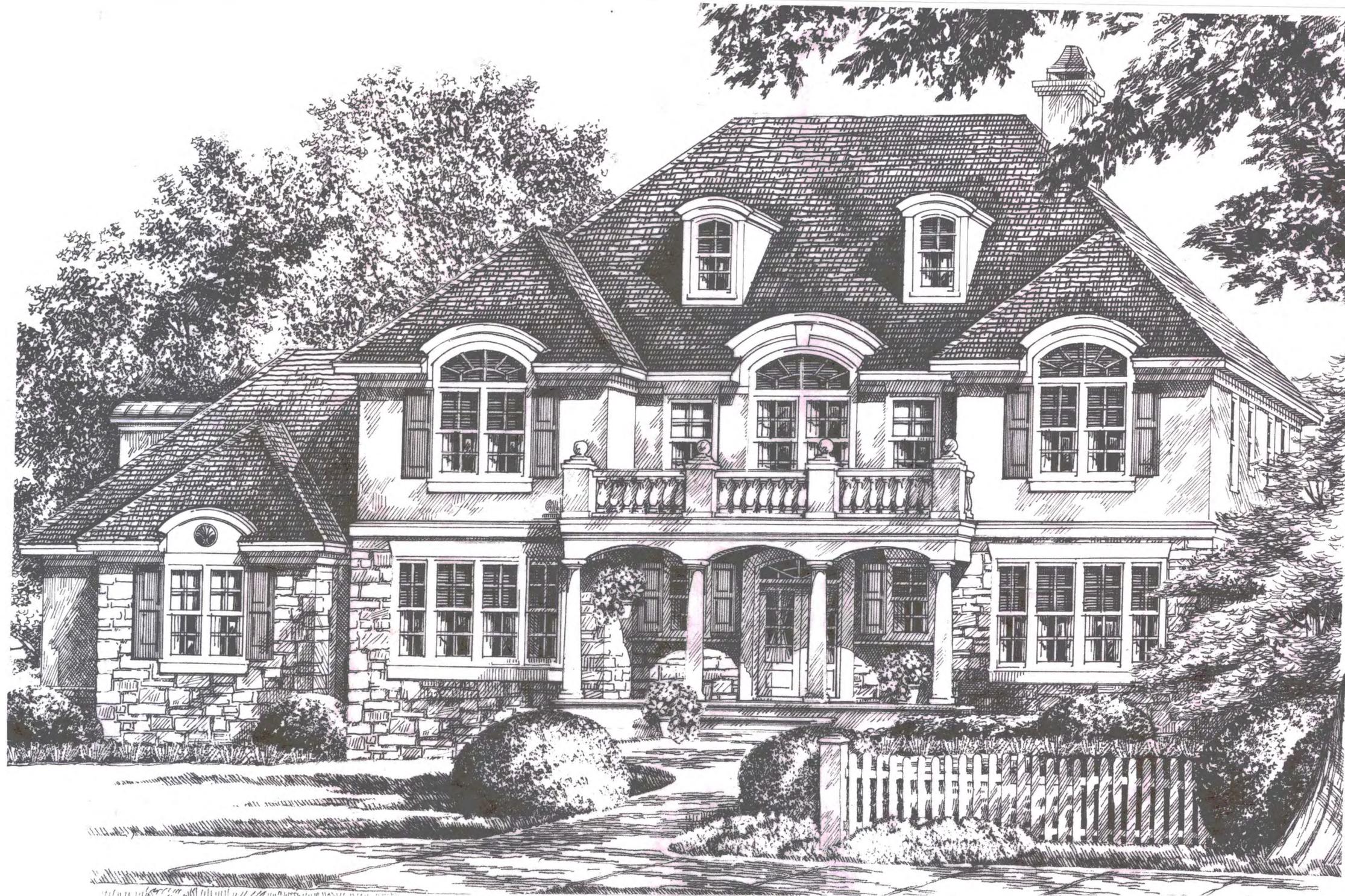


ALL FEDERAL, STATE, AND LOCAL CODES, ORDINANCES, REGULATIONS ETC. SHALL BE CONSIDERED AS PART OF SPECIFICATIONS FOR THIS BUILDING AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, DESCRIBED, OR IMPLIED WHERE SAME ARE AT VARIANCE

DONALD A. GARDNER, INC.
ARCHITECTS • PLANNERS
P.O. BOX 26178 • GREENVILLE S.C. • 29616
864 • 288 • 7580
www.dongardner.com/BP

DESIGN NO. 990
SHEET OF 29 B1'S
FOUNDATION PLAN

DO NOT SCALE DRAWINGS.
COPYRIGHT © 10/18/02 ALL RIGHTS RESERVED BY DONALD A. GARDNER, INC.
NOT TO BE COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION



ALL FEDERAL, STATE, AND LOCAL CODES, ORDINANCES, REGULATIONS AND MANUFACTURER'S INSTRUCTIONS ETC. SHALL BE CONSIDERED AS PART OF THE SPECIFICATIONS FOR THIS BUILDING AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, DESCRIBED, OR IMPLIED WHERE SAME ARE AT VARIANCE. THESE PLANS ARE NOT DRAWN FOR ANY PARTICULAR LOCAL. YOU ARE RESPONSIBLE FOR DETERMINING AND ENSURING COMPLIANCE WITH ALL APPLICABLE CODES AND MANUFACTURER'S REQUIREMENTS.

DONALD A. GARDNER, INC.
ARCHITECTS • PLANNERS®
P.O. BOX 26178 • GREENVILLE S.C. • 29616
864 • 288 • 7580
www.dongardner.com/BP

HOLLINGBOURNE

DESIGN NO.
990
SHEET OF 9 BITS
COVERSHEET

Copyrighted © Donald A. Gardner Architects, Inc.
and/or Donald A. Gardner, Inc.
REG # 295242
It's a violation of the Federal Copyright Act to copy these plans. The federal copyright statute provides for monetary damages for each infringement of copyright from \$250 up to \$150,000.
Permission to construct the building depicted in the drawings is expressly conditioned on the full and timely payment of all fees otherwise due Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc. These plans can be used to construct ONE house only and the license CANNOT be transferred. See additional licensing terms on the packaging.
This copyright notice is "copyright management information" under the Digital Millennium Copyright Act, and Donald A. Gardner Architects, Inc. and/or Donald A. Gardner, Inc. requires its inclusion on all copies to discourage and police copyright infringement. Unauthorized reproduction or usage of these documents or removal of the notification is subject to prosecution.

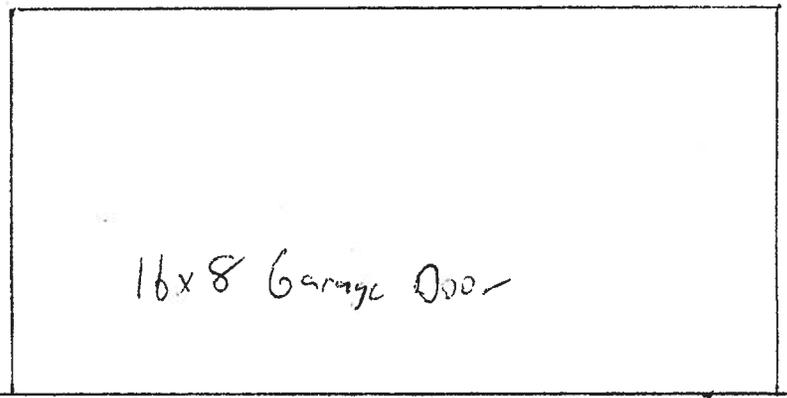
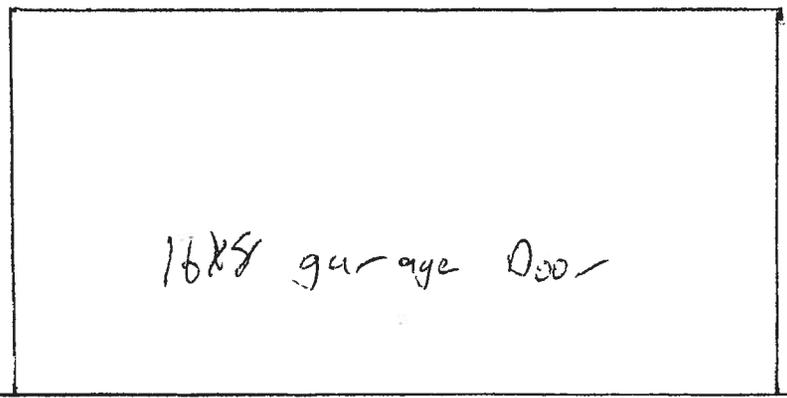
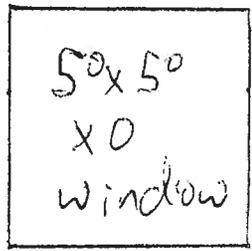
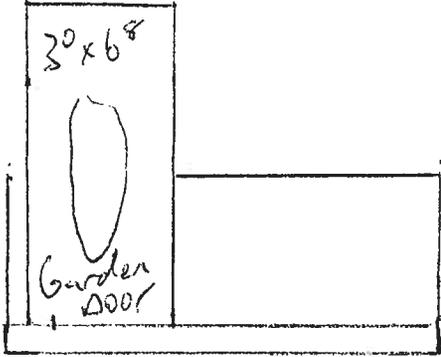
Licensed in
South Carolina
Not Licensed in Your State

DO NOT SCALE DRAWINGS.
COPYRIGHT © 10/18/02 ALL RIGHTS RESERVED BY DONALD A. GARDNER, INC.
NOT TO BE COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION

\\WS001\ARCH\COMMON\DD'S\REVIEWS\LOWER SHEETS\PROCDWG 10/21/10 09:55

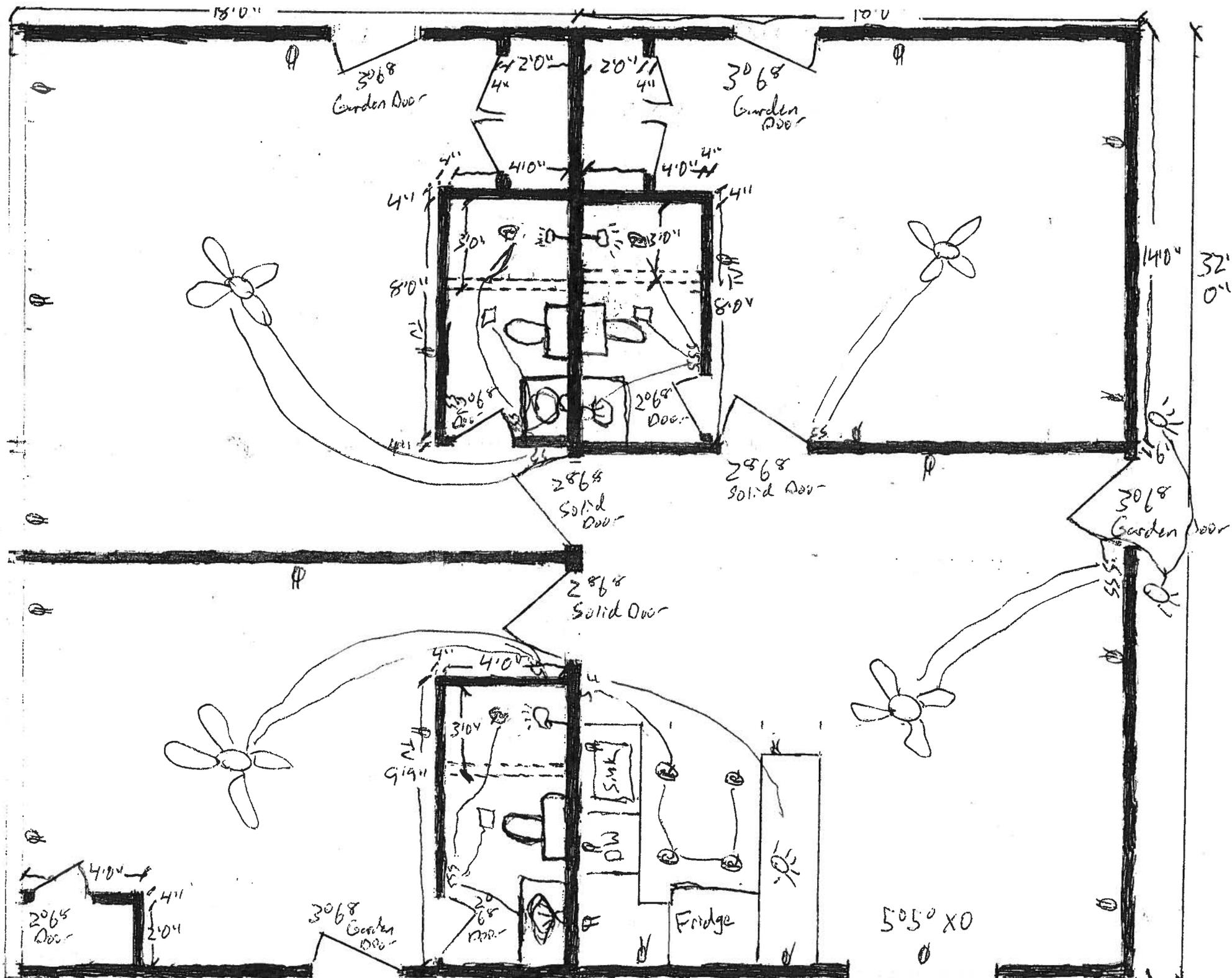
To Shop
↓

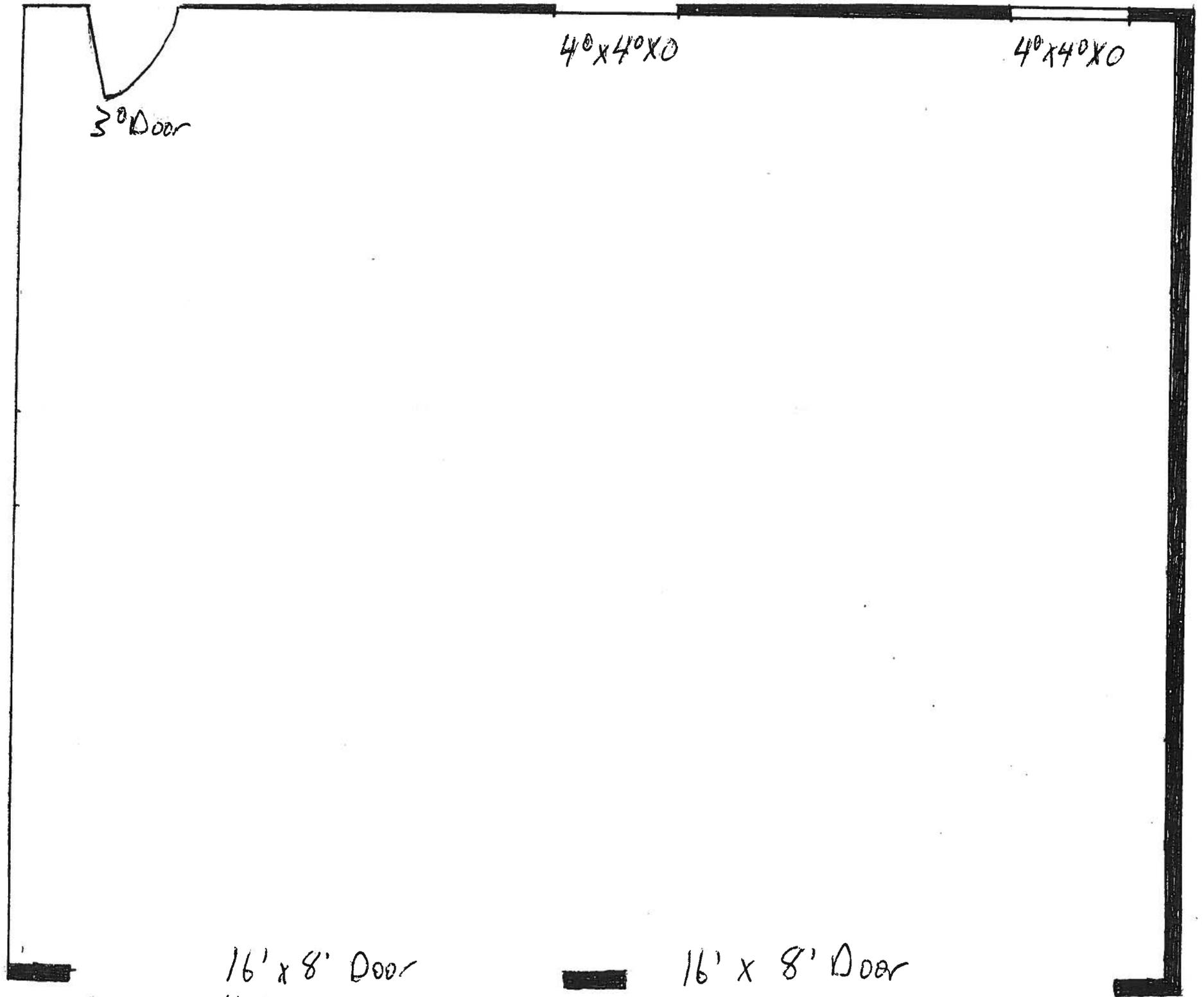
12/17
house



2'0" 16'0" 2'0" 16'0" 2'0"
28'0" FT

Main House





4' x 4' x 0'

4' x 4' x 0'

3' Door

16' x 8' Door

16' x 8' Door

5/12 pitch roof

Asphalt shingles

Gable to
Main House/Garage

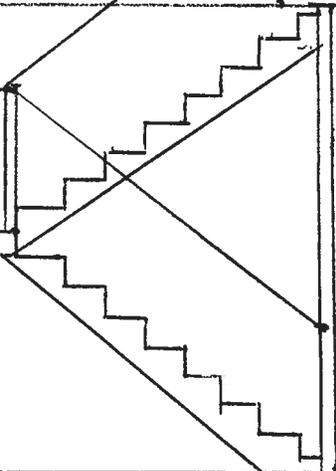
andrail

30 x
68
Garden
Door

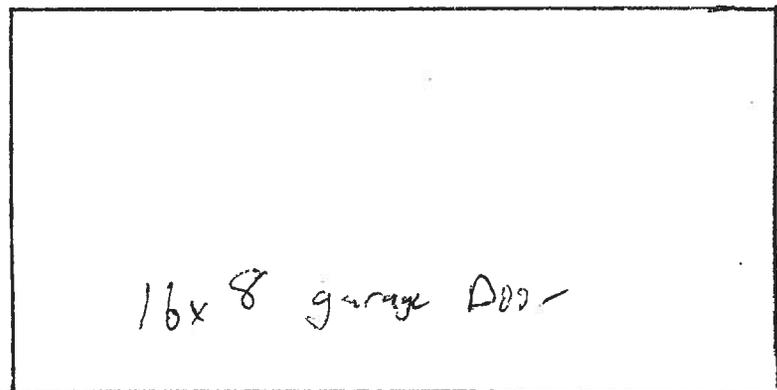
40 x 40
x 0
window

9'0"
Second
Floor

1'4" Floor
Joists



30 x
68
Door

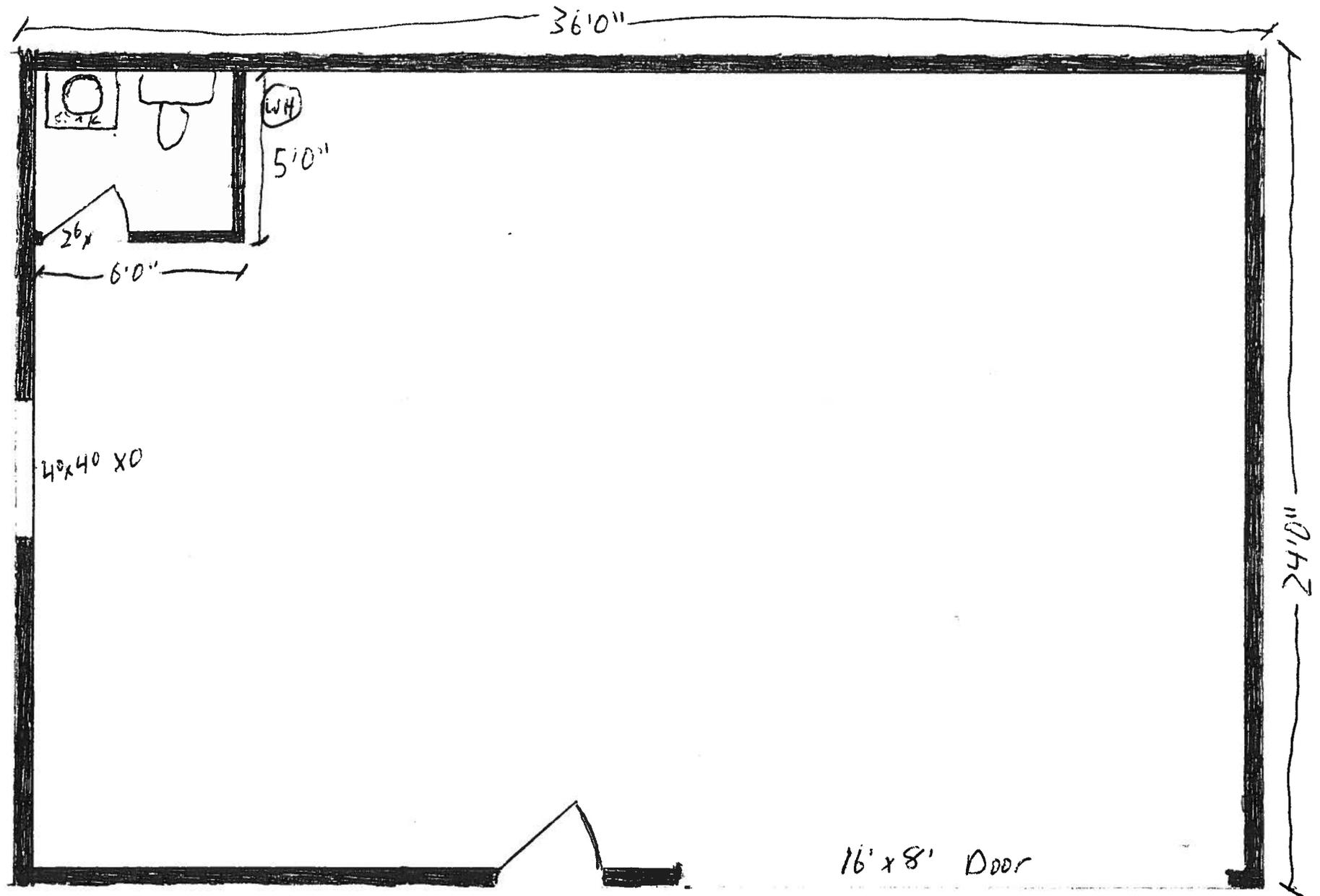


9'0"
ground
floor

16 x 8 garage Door

36'0"

11'0"



36'0"

WH

5'0"

26x

6'0"

4x4 X0

24'0"

16' x 8' Door